



TORRES SHIRE COUNCIL

To lead, provide & facilitate a sustainable, safe & culturally vibrant community

P O Box 171
THURSDAY ISLAND 4875

Telephone (07) 4069 1336
Facsimile (07) 4069 1845

Email: admin@torres.qld.gov.au
ABN 34 108 162 398

12 May 2020

Our Ref: IDAS 2019_09 - 22 Waiben Esplanade, Thursday Island
Enquire to Torres Shire Council
Telephone: (07) 4083 1240

Ray Cousins
c/o Property & Resource Planning Pty Ltd
PO Box 597
Bungalow, Qld

Via email: peter@prplanning.com.au

Attention: Ray,

Decision Notice - approval (with conditions)

Given under section 63 of the *Planning Act 2016*

The development application described below was properly made to Torres Shire Council on 30 April 2020.

Applicant details

Applicant name: Ray Cousins
C/o Property & Resource Planning Pty Ltd

contact details: PO Box 597
Bungalow, Qld
peter@prplanning.com.au

Application details

Applicant Number: IDAS 2019_09 - 22 Waiben Esplanade, Thursday Island
Approvals sought: Development Permit for a Material Change of Use
Description of the development: Dwelling House

Location details

Street address: 22 Waiben Esplanade, Thursday Island
Real property description: Lot 2 T20737
Local Government Area: Torres Shire Council

Decision

Date of decision: 30 April 2020
Decision Details: Approved subject to conditions. These conditions are set out in Attachment 1.

Infrastructure charges are not applicable to the development.

Details of the approval

Development assessable under the planning scheme:
Code Assessment – Dwelling house

Conditions

This approval is subject to the conditions in Attachment 1.

Further development permits

Please be advised that the following development permits are to be obtained before the development can be carried out where necessary under current laws and policies:

1. Development Permit for Building Works;

Properly made submissions

There were no properly made submissions for this **Code** application.

Reasons for the decision

- a. The dwelling will be located in an area zoned for residential development;
- b. The scale of the three storey dwelling is consistent with the locality;
- c. No significant environmental residual impact is resultant from the proposal;
- d. The development is serviceable by urban infrastructure;
- e. The proposal achieves the desired environmental outcomes of the Torres Shire planning Scheme and does not present any non-compliance that cannot be overcome by condition of approval;
- f. The proposal will cater for the demand for residential need in the region;
- g. Flood hazard from storm tide inundation is appropriately addressed through the built form of the proposal.

Referral Agencies

The development application did not require referral to any State agency as part of the assessment.

Other requirements under section 43 of the Planning Regulation

Not Applicable

Approved plans and specifications

The approved plans are attached to this decision notice.

Currency period for the approval

This development approval will lapse at the end of the period set out in section 85 of the *Planning Act 2016*:

- 6 years from the date the approval takes effect.

Rights of appeal

The rights of applicants to appeal to the Planning and Environment court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

An applicant and/or submitter may appeal to the Planning and Environment Court or the Development tribunal against a number of matters (see Schedule 1 of the *Planning Act 2016*).

A copy of the extracts of the *Planning Act 2016* are attached.

For further information please contact Torres Shire Council on (07) 4083 1240.

Yours sincerely,



Dalassa Yorkston
Chief Executive Officer

Enc. **Attachment 1** – Conditions imposed by the assessment manager
Attachment 2 – Approved Plans
Attachment 3 – Extract of Appeal Provisions (Chapter 6, Part 1 and Schedule 1 of the *Planning Act 2016*).

RECOMMENDATION CONDITIONS

It is recommended that the Council approve the development, as per the plans referenced and subject to the following conditions:

ATTACHMENT 1 – CONDITIONS OF APPROVAL

22 Waiben Crescent Thursday Island

DEVELOPMENT CONDITION	TIMING FOR COMPLIANCE																				
<p>1. The Plans of Development, as noted below are approved subject to any alterations. The applicant/owner must at all times during development of the land carry out the development and construction of any building thereon and conduct the approved use generally in accordance with:</p> <ol style="list-style-type: none"> a. The plans, specifications, facts and circumstances as set out in the application submitted to Council; b. To ensure that the development complies in all respects with the following conditions of approval and the requirements of Council's Planning Scheme; and c. Any alterations found necessary by Council at the time of examination of Engineering Plans or during construction of the development because of particular engineering requirements. <p>Except for any variation required to comply with these conditions of approval.</p>	<p>Prior to commencement of the use and to be maintained at all times.</p>																				
Approved Plans																					
<p>2. The approved Plans of Development are as follows dated 1st September 2019:</p> <table border="1" data-bbox="272 1391 826 1682" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2" style="text-align: center;">DRAWING SCHEDULE</th> </tr> </thead> <tbody> <tr> <td colspan="2" style="font-size: small;">ARCHITECTURAL - CLARKE AND PRINCE PTY. LTD.</td> </tr> <tr> <td style="font-size: x-small;">1430 - A.00</td> <td style="font-size: x-small;">COVER SHEET</td> </tr> <tr> <td style="font-size: x-small;">1430 - A.01</td> <td style="font-size: x-small;">SITE PLAN & LOCALITY PLAN</td> </tr> <tr> <td style="font-size: x-small;">1430 - A.02</td> <td style="font-size: x-small;">GROUND FLOOR PLAN</td> </tr> <tr> <td style="font-size: x-small;">1430 - A.03</td> <td style="font-size: x-small;">1ST FLOOR PLAN</td> </tr> <tr> <td style="font-size: x-small;">1430 - A.04</td> <td style="font-size: x-small;">ELEVATIONS - SHEET 1 OF 2</td> </tr> <tr> <td style="font-size: x-small;">1430 - A.05</td> <td style="font-size: x-small;">ELEVATIONS - SHEET 2 OF 2</td> </tr> <tr> <td style="font-size: x-small;">1430 - A.06</td> <td style="font-size: x-small;">INDICATIVE SECTION</td> </tr> <tr> <td style="font-size: x-small;">1430 - A.07</td> <td style="font-size: x-small;">INDICATIVE PERSPECTIVES</td> </tr> </tbody> </table>	DRAWING SCHEDULE		ARCHITECTURAL - CLARKE AND PRINCE PTY. LTD.		1430 - A.00	COVER SHEET	1430 - A.01	SITE PLAN & LOCALITY PLAN	1430 - A.02	GROUND FLOOR PLAN	1430 - A.03	1ST FLOOR PLAN	1430 - A.04	ELEVATIONS - SHEET 1 OF 2	1430 - A.05	ELEVATIONS - SHEET 2 OF 2	1430 - A.06	INDICATIVE SECTION	1430 - A.07	INDICATIVE PERSPECTIVES	<p>As indicated.</p>
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Limitation on Land use																					
<p>3. The development is approved for the purposes of a <i>Dwelling house</i> as defined in the Planning scheme. It is to be occupied at all times by a single household only.</p> <p>Note: Should it be proposed to establish separate Dwelling units with separate households then a formal material change of use application and approval for a Dual occupancy will be required.</p>																					
<p>4. Install and maintain suitable screening to all</p>	<p>Prior to commencement of the use and to be</p>																				

DEVELOPMENT CONDITION	TIMING FOR COMPLIANCE
air conditioning, plant and service facilities located at the rear of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the facade of the building.	maintained
<p>5. The development is to be constructed in accordance with the finished floor levels indicated on the approved plans and as follows:</p> <ul style="list-style-type: none"> the minimum habitable floor level required is 4.391m AHD to be immune from storm tide inundation. <p><i>Note:</i> construction to a higher flood immunity level is compliant with this condition.</p>	Prior to commencement of the use and to be maintained
Construction Waste	
6. All construction waste and demolished materials are to be removed from the site while site works occur.	As indicated
Biosecurity	
7. Machinery and construction and landscape materials brought from the mainland or from the Torres Strait Protected Zone must comply with the General Biosecurity Obligation (GBO) which requires that all persons who deal with biosecurity matter or a carrier, if they know or ought reasonably to know that it poses a biosecurity risk, to take all reasonable and practical measures to prevent or minimise the risk.	Prior to the commencement of site works and to be maintained at all times during construction phase of the development.
ENGINEERING	
Engineering Certification	
8. A Registered Professional Engineer of Queensland shall certify engineering drawings and specifications for all engineering works, which shall be submitted in conjunction with an application for a Development Permit for Building Works and/or Operational Works.	Prior to commencing building works
Water Supply and Sewerage Works	
9. The applicant/owner must carry out water supply and sewerage works to connect the proposed development to Council's existing water supply and sewerage network to the satisfaction of Council's Delegated Officer, where necessary.	Prior to survey plan endorsement
Public Utilities	
10. The applicant is responsible for the cost of any alteration to public utilities as a result of complying with conditions of this Development Permit.	Prior to survey plan endorsement
11. Any damage caused to any public utility during the course of construction shall be repaired to ensure it conforms to the	Prior to survey plan endorsement

DEVELOPMENT CONDITION	TIMING FOR COMPLIANCE
Councils Policies and Guidelines relevant to the infrastructure subject to damage.	
Stormwater	
12. All stormwater within or entering the site shall be controlled in such a manner so that it does not cause any public health or safety concerns and/or damage or loss to property and building for subject site or downstream of the subject site.	Prior to survey plan endorsement
13. Stormwater design shall accord to the design and construction standards set down in FNQROC Manual and those of QUDM	Prior to survey plan endorsement
Services	
14. The development must ensure that the flow of all external stormwater from the property is directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development, all to the requirements and satisfaction of Council's Policies and Guidelines.	Prior to commencement of the use and to be maintained
15. Submit to Council (where required), written agreement from the owners of downstream properties for the discharge of stormwater from the site through the affected properties to a lawful point of discharge.	Prior to commencement of the use and to be maintained
16. The owner must submit satisfactory evidence from Ergon Energy that: a. Electricity is available to the approved development; or b. An agreement has been made between the landowner and Ergon Energy to supply electricity to the proposed development.	Prior to the issuing of a Development Permit for Building Works.
17. The applicant/owner must submit satisfactory evidence from telecommunications authorities that: a. Telecommunication services are available to the approved development; or b. An agreement has been made between the landowner and a telecommunication provider to supply telecommunications services to the proposed development.	Prior to the issuing of a Development Permit for Building Works.
EROSION AND SEDIMENT CONTROL	
18. Site works must be constructed such that they do not, at any time, in any way restrict, impair or change the natural flow of runoff water, or cause a nuisance or worsening to adjoining properties or infrastructure. a. Prepare and implement an Erosion and Sediment Control Strategy (ESCS) in accordance with the FNQROCDM Design Guideline D5 (Stormwater Quality) as it relates to the construction phase. The ESCS must be available for inspection by Council officers during the	Prior to building works commencing;

<u>DEVELOPMENT CONDITION</u>	<u>TIMING FOR COMPLIANCE</u>
<p>construction phase.</p> <p>b. Implement the ESCS for the duration of the construction phase and until such time all exposed soils areas area permanently stabilised (for example, turfed, hydro mulched, concreted or landscaped).</p>	<p>while all site works are occurring and to be maintained.</p>
<u>ADVICE</u>	
<p>This approval, granted under the provisions of the Planning Act 2016, shall lapse six (6) years from the day the approval takes effect in accordance with the relevant provision s85 of the Planning Act 2016</p>	
<p>No building materials or the like are to be stored on the footpath unless an appropriate approval from Council is obtained, including the payment of associated fees.</p>	
<p>All building works are to be carried out in accordance with the requirements of the Building Code of Australia.</p>	
<p>All building site managers must take all action necessary to ensure building materials and/or machinery on construction sites are secured immediately following the first potential cyclone warning and that relevant emergency telephone contacts are provided to Council Officers, prior to Commencement of Works.</p>	
<p>Pursuant to the <i>Building and Construction Industry (Portable Long Service Leave) Act 1991</i>, if the cost of Operational Works exceeds \$80,000, then a portable long service levy is required to be paid. In accordance with Section 77 (1) of the Act, Council is required to sight the approved form issued by the Building and Construction Industry (Portable Long Service Leave) Authority that confirms that the requirements of the Act have been satisfied.</p>	
<p>In accordance with the <i>Environmental Protection Regulation 2008</i>, work involving machinery of any description shall only be carried out on site from:</p> <ul style="list-style-type: none"> • 6.30am to 6.30pm, Monday to Saturday; • With no work on Sundays, Public Holidays and whilst a funeral or tombstone opening is being held in the vicinity of the activity. <p>A maximum penalty of \$1,500.00 applies to an offence under these provisions.</p>	
<p>In accordance with the Environmental Protection (Water) Policy 2009, all sand, silt, mud, paint, cement, concrete, builders waste or rubbish shall not be permitted to enter or be placed where it could reasonably be expected to more into a roadside gutter, stormwater drain or watercourse. On the spot fines apply for such offences.</p>	
<p>This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements. Any provisions contained in this approval relating to the enforcement of any of the conditions shall be in addition to all other rights, powers and privileges that the Council may possess or obtain, and nothing contained in these conditions shall be construed so as to prejudice, affect or otherwise derogate or limit these rights, powers and privileges of the Council.</p>	
<p>In accordance with s.86 of the Building Act 1975, the applicant's building certifier must give the approved building documents to Torres Shire Council within 5 days of approving the application and pay the relevant fee.</p>	
<p>Infrastructure Charges Notice: Pursuant to the Planning Act 2016 and the State Planning Regulatory Provision (adopted charges) an Infrastructure Charges Notice is issued for this development permit.</p>	
<p>This development approval does not authorise any activity that may harm Aboriginal cultural heritage. It is advised that under section 23 of the Aboriginal Cultural Heritage Act 2003, a person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal cultural heritage (the "cultural heritage duty of care").</p>	

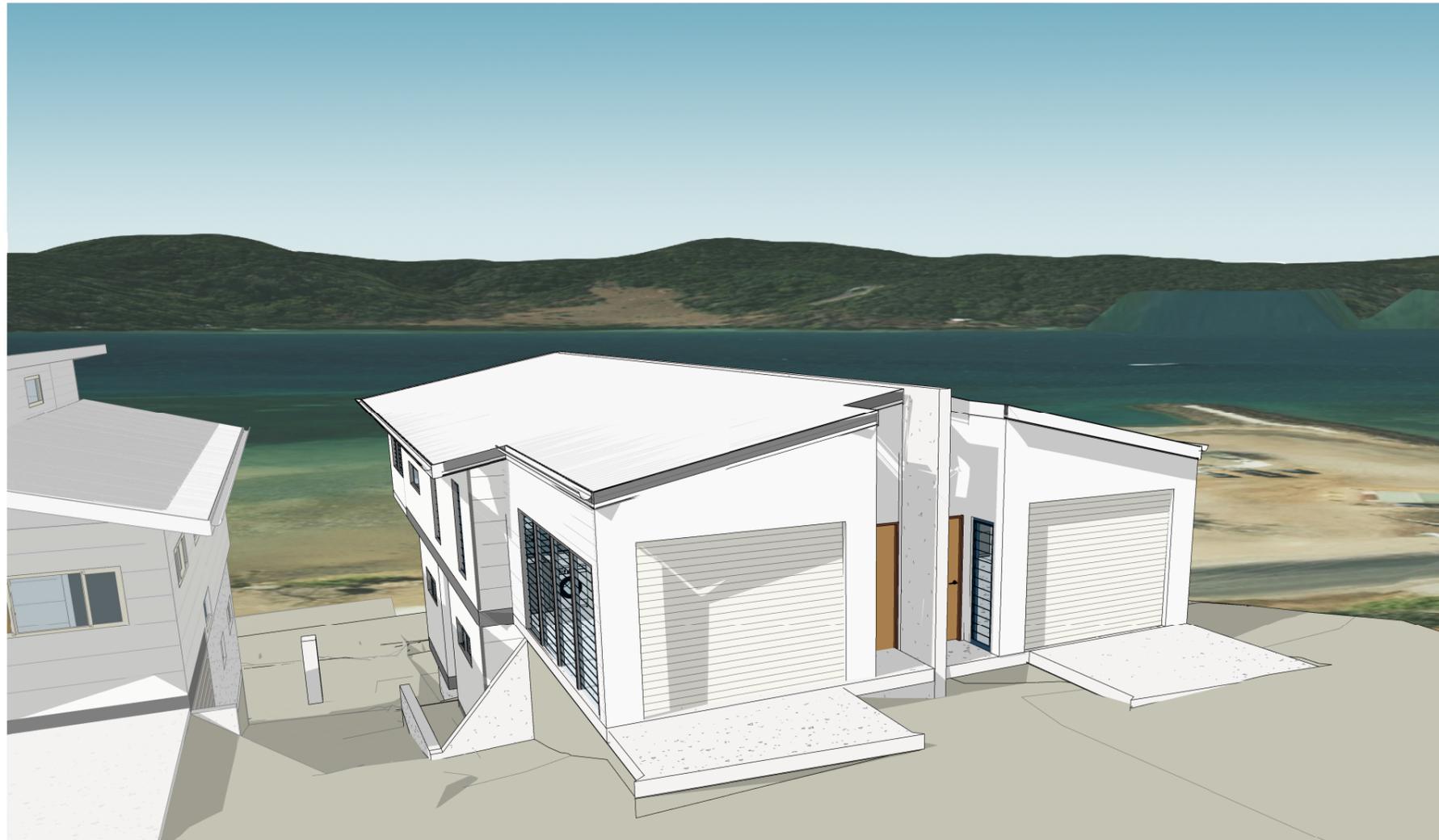
PROPOSED "INTERGENERATIONAL HOUSE" 6 BEDROOM RESIDENCE

22 WAIBEN ESPLANADE, THURSDAY ISLAND

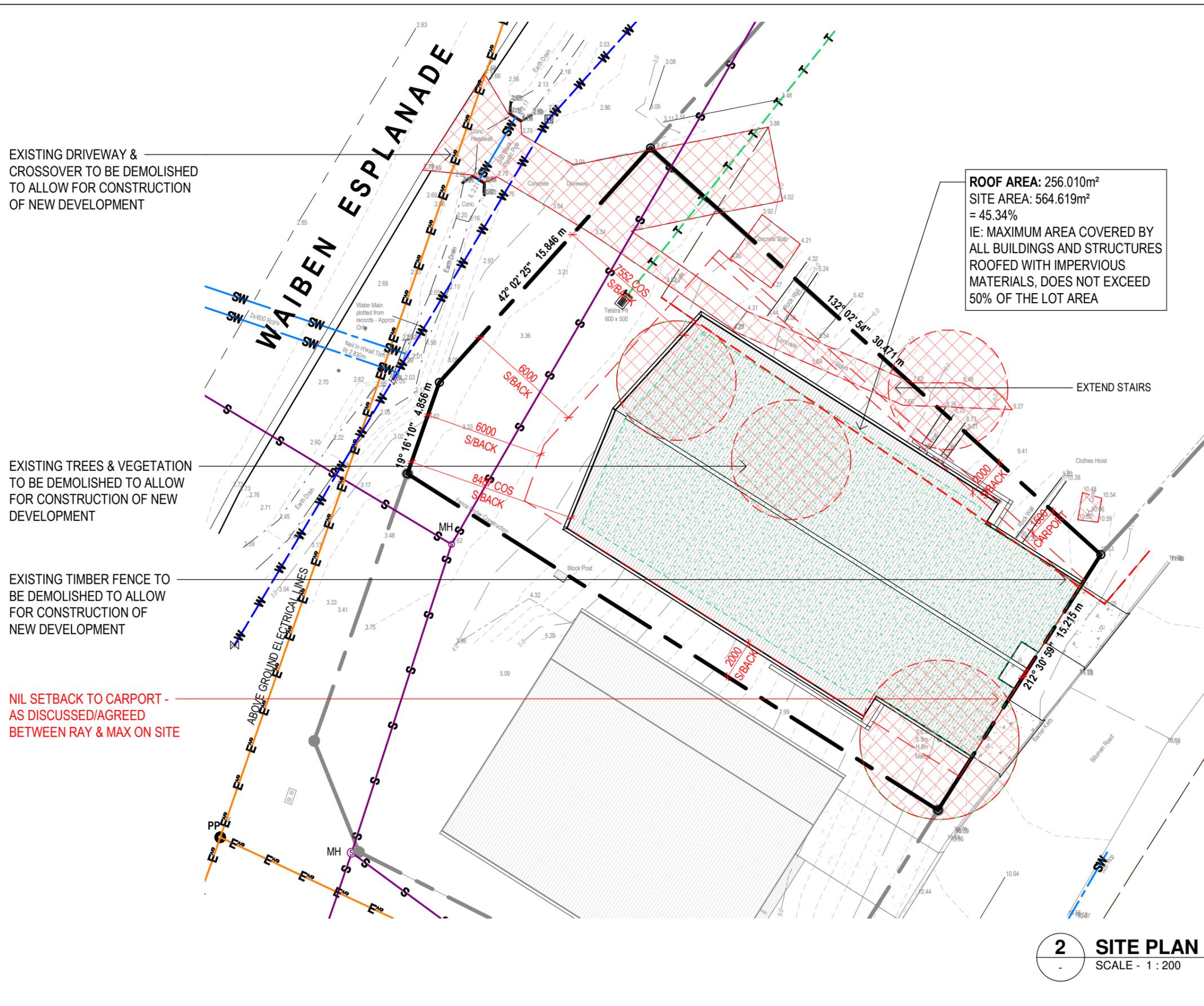
DRAWING SCHEDULE

ARCHITECTURAL - CLARKE AND PRINCE PTY. LTD.

1430 - A.00	COVER SHEET
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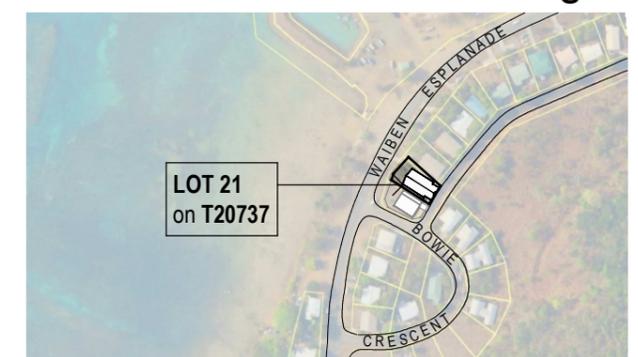
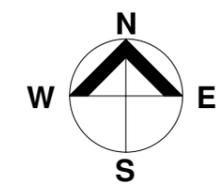


AMENDMENTS	DATE	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. DIMENSIONS SHOWN ARE NOMINAL. ALLOWANCE TO BE MADE FOR FINISHED SIZES. VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING WORK. THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF CLARKE AND PRINCE PTY LTD. UNAUTHORISED USE OF THIS DOCUMENT IN ANY WAY IS PROHIBITED.	 3 Scott Street CAIRNS QLD 4870 p. 07 4051 4088 f. 07 4051 1080 e. cp@clarkeandprince.com.au www.clarkeandprince.com.au	DRAWN	JL	SCALE	SIZE	A3	PROJECT	PROPOSED INTERGENERATIONAL HOUSE 22 WAIBEN ESPLANADE, THURSDAY ISLAND RAY COUSINS				
P1 FOR TOWN PLANNING REVIEW	01/10/19			APPROVED	MM	DATE	SEP 2019	FOR	COVER SHEET					
									DWG No.	1430 - SD - A.00	STAMP	PRELIMINARY	ISSUE	P1



ROOF AREA: 256.010m²
SITE AREA: 564.619m²
 = 45.34%
IE: MAXIMUM AREA COVERED BY ALL BUILDINGS AND STRUCTURES ROOFED WITH IMPERVIOUS MATERIALS, DOES NOT EXCEED 50% OF THE LOT AREA

PROPERTY INFORMATION:
LOT NUMBER 21
PLAN NUMBER T20737
SITE AREA 564.619 m²



1 LOCALITY PLAN
 SCALE - 1 : 5000

SITE NOTES:

- BOUNDARY DIMENSIONS IN METRES
- EXISTING SERVICES LOCATIONS ARE INDICATIVE ONLY. CONTRACTOR TO VERIFY ON SITE
- REFER TO SLAB PLAN FOR SETOUT
- REFER TO SERVICES CONSULTANT DRAWINGS FOR WORKS TO NEW & EXISTING SERVICES
- VERIFY ALL BEARING AND DIMENSIONS ON SITE PRIOR TO ANY CONSTRUCTION. ALL MISSING PEGS TO BE REINSTATED PRIOR TO ANY CONSTRUCTION. NOTIFY THIS OFFICE IMMEDIATELY OF ANY DISCREPANCIES IN SETOUT DIMENSIONS.
- DISCLOSURE PLAN ONLY. DO NOT START CONSTRUCTION UNTIL BOUNDARIES ARE CONFIRMED.
- APPROXIMATE POSITION OF SEWER JUMP UP. VERIFY POSITION ON SITE PRIOR TO CONSTRUCTION. CONNECT 100Dia LINE TO COUNCIL REQUIREMENTS.
- THE FILL USED ON THIS SITE WILL HAVE CONTROLLED PLACEMENT.
- ALL WATER TAP AND METER BOX LOCATIONS AS SHOWN TO BE VERIFIED ON-SITE BY BUILDER.
- POSITIONS OF EXISTING SERVICES ARE TAKEN FROM 'AS CONSTRUCTED' DRAWINGS. CONTRACTOR TO ALLOW FOR ANY DISCREPANCIES.

ABBREVIATIONS:

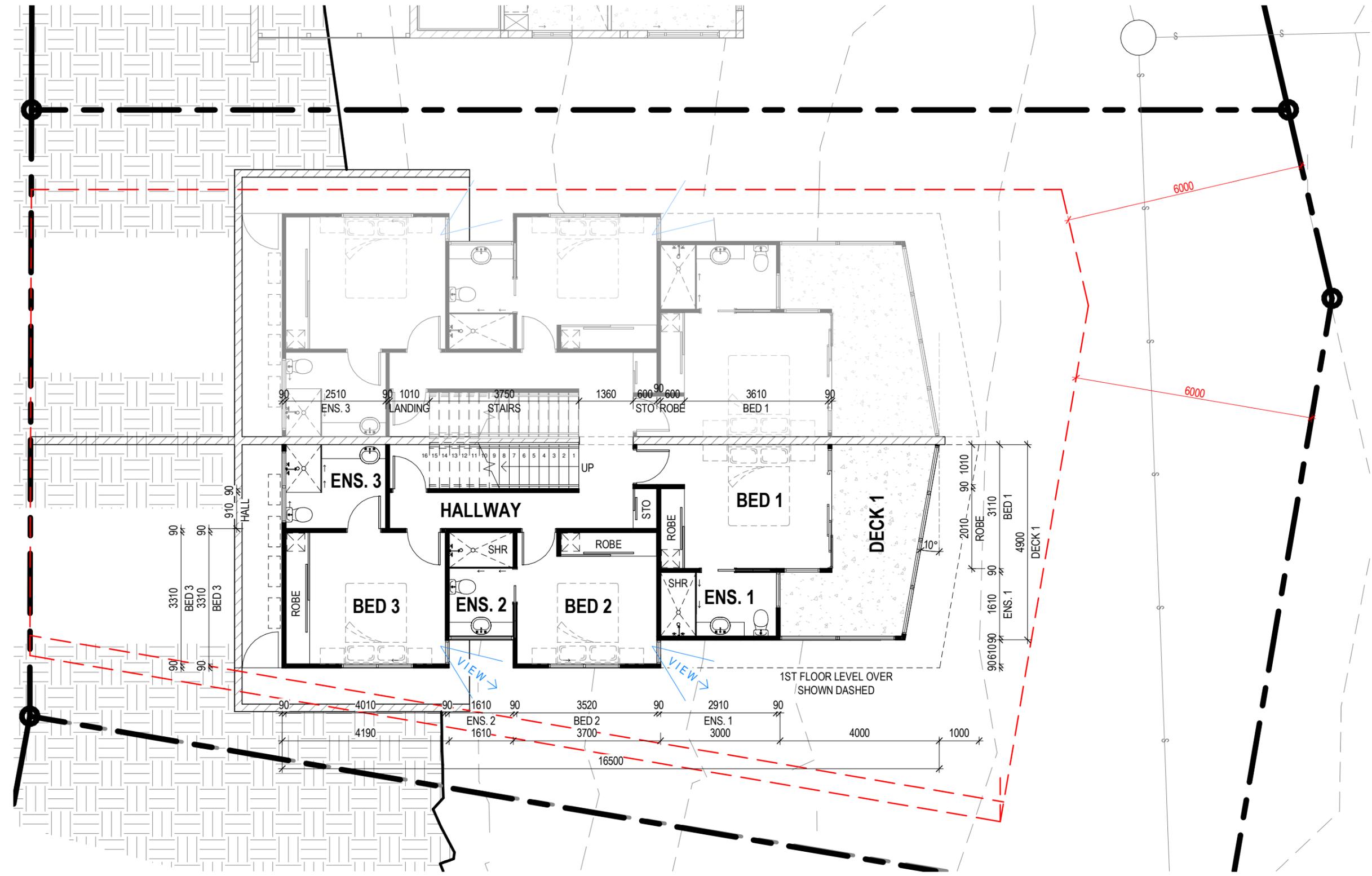
- | | | |
|----------|----------------------------|---|
| A.F.L. | ABOVE FLOOR LEVEL | CONFIRM EXACT LOCATION OF |
| A.F.F.L. | ABOVE FINISHED FLOOR LEVEL | ALL EXIST. SERVICES ON SITE: |
| APPROX. | APPROXIMATE | |
| B/H | BULKHEAD | E E ELECTRICITY LINE |
| C.O.S. | CONFIRM ON SITE | (A/G - ABOVE GROUND) |
| CP | CHROME PLATED | (U/G - UNDERGROUND) |
| DIA. | DIAMETER | (PP - POWER POLE) |
| EQ | EQUAL | |
| EXIST. | EXISTING | SW SW STORMWATER DRAINAGE |
| MAX. | MAXIMUM | |
| MIN. | MINIMUM | S S SEWER MAIN |
| NOM. | NOMINATED | |
| O/ALL | OVERALL | T T TELSTRA LINE |
| OH | OVERHANG | (PIT - TELSTRA PIT) |
| OMP | OUTER MOST PROJECTION | |
| S/BACK | SETBACK | W W WATER MAIN |
| TBA | TO BE ADVISED | |
| TBC | TO BE CONFIRMED | |
| TYP | TYPICAL | |
| U.N.O. | UNLESS NOTED OTHERWISE | |

2 SITE PLAN
 SCALE - 1 : 200

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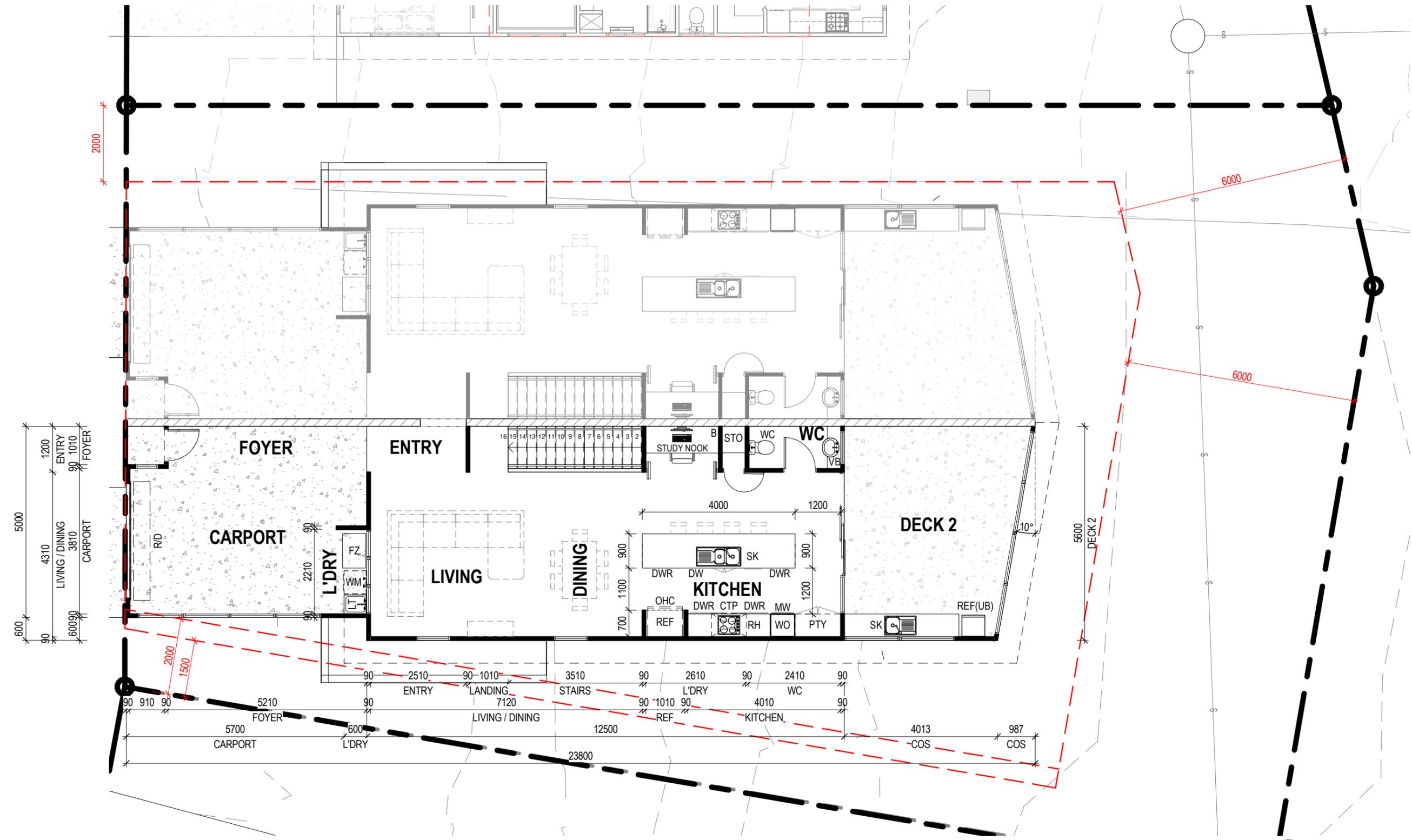

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DRAWN	JL	SCALE	As indicated	SIZE	A3	PROJECT	PROPOSED INTERGENERATIONAL HOUSE
APPROVED	MM	DATE	SEP 2019				22 WAIBEN ESPLANADE, THURSDAY ISLAND
						FOR	RAY COUSINS
						DWG	SITE PLAN & LOCALITY PLAN
						DWG No.	1430 - A.01
						STAMP	PRELIMINARY
						ISSUE	P1



1 FLOOR PLAN - GND FLOOR
SCALE - 1 : 100

AMENDMENTS P1 FOR TOWN PLANNING REVIEW	DATE 01/10/19	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. DIMENSIONS SHOWN ARE NOMINAL. ALLOWANCE TO BE MADE FOR FINISHED SIZES. VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING WORK. THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF CLARKE AND PRINCE PTY LTD. UNAUTHORISED USE OF THIS DOCUMENT IN ANY WAY IS PROHIBITED.	 <p>3 Scott Street CAIRNS QLD 4870 p.07 4051 4088 f.07 4051 1080 e.cp@clarkeandprince.com.au w.www.clarkeandprince.com.au</p>	DRAWN JL APPROVED MM SCALE 1 : 100 DATE SEP 2019 SIZE A3	PROJECT PROPOSED INTERGENERATIONAL HOUSE 22 WAIBEN ESPLANADE, THURSDAY ISLAND FOR RAY COUSINS DWG GROUND FLOOR PLAN DWG No. 1430 - A.02 STAMP PRELIMINARY ISSUE P1
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1 1F FL(1)
A.04 SCALE - 1 : 100

AMENDMENTS	DATE	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. DIMENSIONS SHOWN ARE NOMINAL. ALLOWANCE TO BE MADE FOR FINISHED SIZES. VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING WORK. THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF CLARKE AND PRINCE PTY LTD. UNAUTHORISED USE OF THIS DOCUMENT IN ANY WAY IS PROHIBITED.
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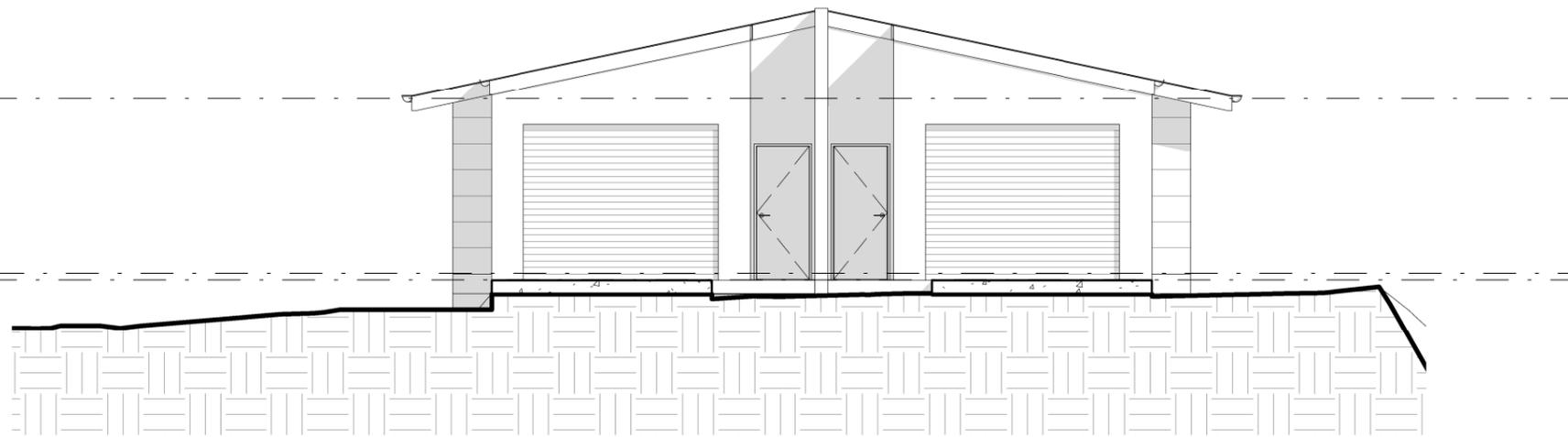
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DRAWN	JL	SCALE	1 : 100	SIZE	A3	PROJECT	PROPOSED INTERGENERATIONAL HOUSE				
APPROVED	MM	DATE	SEP 2019			22 WAIBEN ESPLANADE, THURSDAY ISLAND					
						FOR	RAY COUSINS				
						DWG	1ST FLOOR PLAN				
						DWG No.	1430 - A.03	STAMP	PRELIMINARY	ISSUE	P1

▽ 1F TOP OF WALL
RL. 14.000

▽ 1F FL
RL. 11.300

▽ CARPORT FL
RL. 11.200

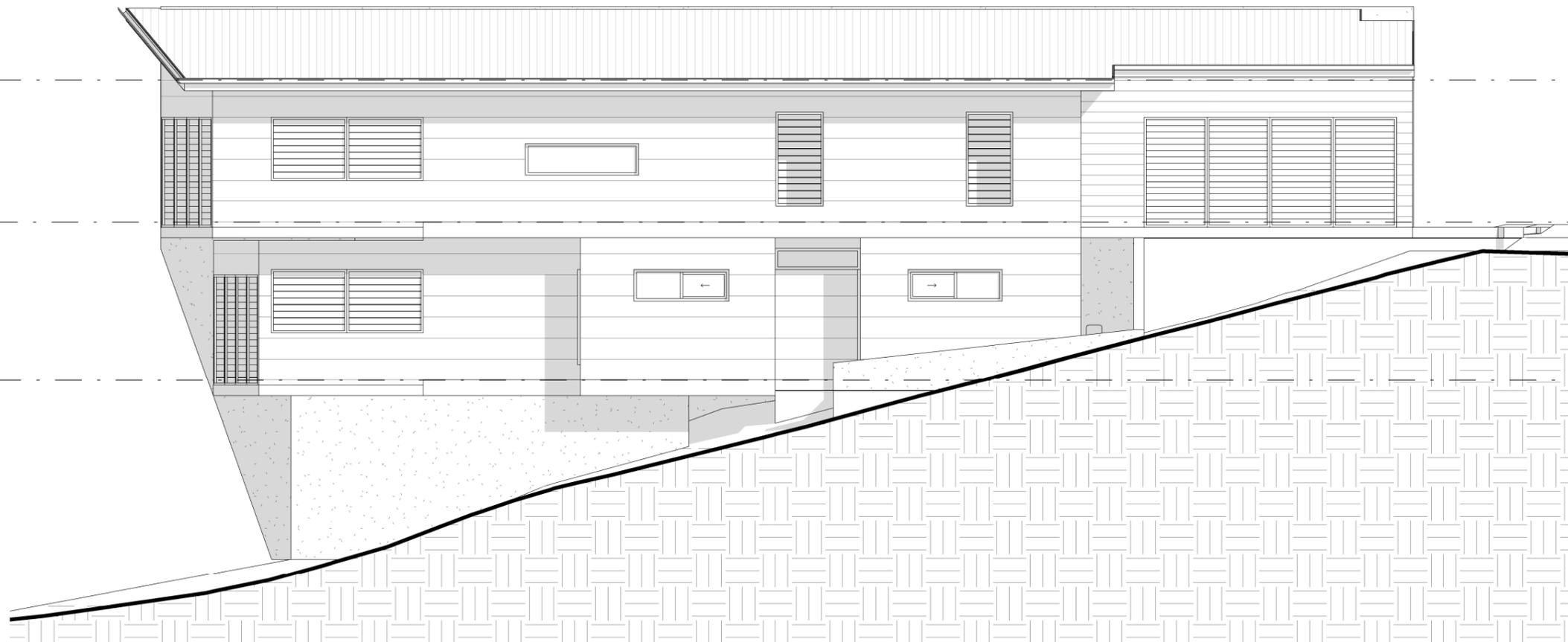


1 ELEVATION - 1
SCALE - 1 : 100

▽ 1F TOP OF WALL
RL. 14.000

▽ 1F FL
RL. 11.300

▽ GND FL
RL. 8.300



2 ELEVATION - 2
SCALE - 1 : 100

AMENDMENTS	DATE
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APPROVED	MM	DATE	SEP 2019		

PROJECT	PROPOSED INTERGENERATIONAL HOUSE 22 WAIBEN ESPLANADE, THURSDAY ISLAND RAY COUSINS		
FOR			
DWG	ELEVATIONS - SHEET 1 OF 2		
DWG No.	1430 - A.04	STAMP	PRELIMINARY
ISSUE	P1		



3 ELEVATION - 3
SCALE - 1 : 100



4 ELEVATION - 4
SCALE - 1 : 100

AMENDMENTS	DATE
P1 FOR TOWN PLANNING REVIEW	01/10/19

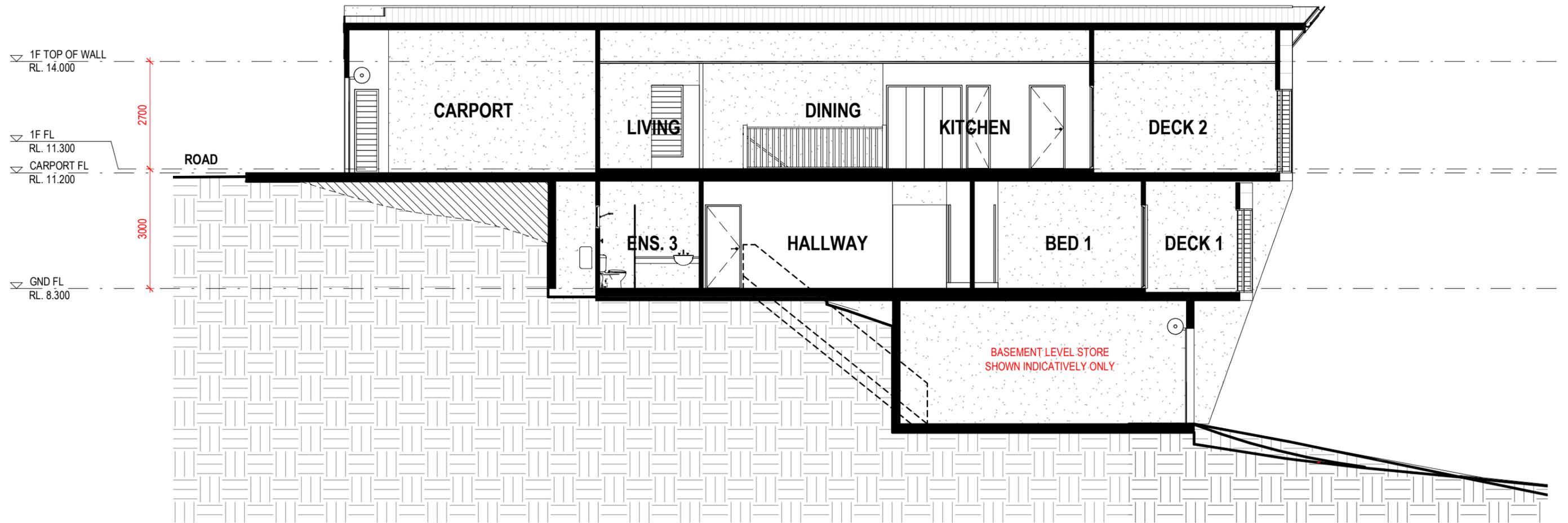
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DRAWN	JL	SCALE	1 : 100	SIZE	A3
APPROVED	MM	DATE	SEP 2019		

PROJECT	PROPOSED INTERGENERATIONAL HOUSE		
	22 WAIBEN ESPLANADE, THURSDAY ISLAND		
	RAY COUSINS		
FOR			
DWG	ELEVATIONS - SHEET 2 OF 2		
DWG No.	1430 - A.05	STAMP	PRELIMINARY
			ISSUE P1



1 TYPICAL SECTION
SCALE - 1 : 100

AMENDMENTS	DATE
P1 FOR TOWN PLANNING REVIEW	01/10/19

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DRAWN	JL	SCALE	1 : 100	SIZE	A3
APPROVED	MM	DATE	SEP 2019		

PROJECT	PROPOSED INTERGENERATIONAL HOUSE		
	22 WAIBEN ESPLANADE, THURSDAY ISLAND		
FOR	RAY COUSINS		
DWG	INDICATIVE SECTION		
DWG No.	1430 - A.06	STAMP	PRELIMINARY
ISSUE	P1		



1 INDICATIVE 3D VIEW 1
SCALE -



3 INDICATIVE 3D VIEW 3
SCALE -



2 INDICATIVE 3D VIEW 2
SCALE -

AMENDMENTS	DATE
P1 FOR TOWN PLANNING REVIEW	01/10/19

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DRAWN	JL	SCALE	SIZE	A3
APPROVED	MM	DATE	SEP 2019	

PROJECT	PROPOSED INTERGENERATIONAL HOUSE		
	22 WAIBEN ESPLANADE, THURSDAY ISLAND		
FOR	RAY COUSINS		
DWG	INDICATIVE PERSPECTIVES		
DWG No.	1430 - A.07	STAMP	PRELIMINARY
ISSUE	P1		