



# TORRES SHIRE COUNCIL

To lead, provide and facilitate a sustainable, safe  
and culturally vibrant community

P.O Box 171  
THURSDAY ISLAND 4875

Telephone (07) 4069 1336  
Facsimile (07) 4069 1845

Email: [admin@torres.gld.gov.au](mailto:admin@torres.gld.gov.au)  
ABN 34 108 162 398

DATE: 24 April 2026

Our Ref: IDAS 24/02  
Enquire to: Ed Kulpa  
Telephone: (07) 4069 1336

Joey Josia Laifoo & Melissa Leanne Crump  
c/ Urban Sync  
PO Box 2970  
CAIRNS QLD 4870

Email: [admin@urbansync.com.au](mailto:admin@urbansync.com.au)

Dear Sir/Madam

## Decision Notice – Minor Change

*Given under section 83 of the Planning Act 2016*

With reference to the abovementioned Development Application, please find attached the relevant Decision Notice, which was approved by Torres Shire Council in full, subject to conditions.

Details of the decision are as follows:

### DATE OF DECISION

Council approved the Development Application at the Council meeting on 21 April 2026.

### APPLICATION DETAILS

Application No:	IDAS24/02
Approval Sought:	Minor Change to Development Permit for a Material Change of Use
Description of the Development	Dwelling Unit and Undefined Land Use (Cultural Activities)
Planning Scheme:	<i>Torres Shire Council Planning Scheme 2022</i>

### LOCATION DETAILS

Street Address:	42 Douglas Street, Thursday Island
Real Property Description:	Lot 1 RP716988

## **DECISION DETAILS**

The original decision date was 16 July 2024, with the original Decision Notice dated 18 July 2024.

Torres Shire Council, on 17 March 2026 decided to issue the following type of approval:

- Minor Change to Development Permit - Material Change of Use for Dwelling Unit and Undefined Land Use (Cultural Activities)

Subject to the following:

- (A) Amend condition 2.1 – approval plans and documents.
- (B) All other conditions remain as per decision notice dated 18 July 2024.

## **CURRENCY PERIOD**

The use of the subject land must be commenced within a period of six (6) years from the date, unless otherwise stated, the original approval takes effect in accordance with section 71 of the *Planning Act 2016*. Should the subject use not be commenced prior to the expiry of such period, this approval will lapse.

## **ASSESSMENT MANAGER CONDITIONS**

This approval is subject to the conditions in Attachment 1.

## **PROPERLY MADE SUBMISSIONS**

Not applicable – no part of this minor change application required public notification.

## **REFERRAL AGENCIES**

There were no referral agencies as part of this minor change application.

## **FURTHER DEVELOPMENT PERMITS REQUIRED**

- Development Permit for Plumbing and Drainage Work
- Development Permit for Building Work.

## **OTHER REQUIRMENTS UNDER SECTION 43 OF THE PLANNING REGULATION 2017**

Not Applicable

## **APPROVED PLANS AND SPECIFICATIONS**

The approved plans are attached to this Decision Notice (Attachment 2)

## **RIGHTS OF APPEAL**

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* are attached (Attachment 4).

## **OTHER DETAILS**

You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you

find an inaccuracy in any of the information provided above or have a query or need to seek clarification about any of these details, please contact Torres Shire Council on (07) 4069 1336.

**DELEGATED PERSON**

**Name:** Mary Bani

**Signature:**



- Enc. **Attachment 1** – Conditions imposed by the Assessment Manager  
**Attachment 2** – Approved Plans  
**Attachment 3** – Notice about a Decision Notice  
**Attachment 4** – Extract of Appeal Provisions (*Planning Act 2016*).

## CONDITIONS IMPOSED BY THE ASSESSMENT MANAGER

NO.	CONDITIONS	CONDITION TIMING
<b>1.0</b>	<b>Parameters of Approval</b>	
1.1	The Developer is responsible for ensuring compliance with this development approval and the conditions of the approval by an employee, agent, contractor, or invitee of the Developer at all times unless otherwise stated.	At all times.
1.2	Where these conditions refer to "TSC" in relation to requiring Torres Shire Council to approve or be satisfied as to any matter, or conferring on the TSC a function, power or discretion, that role of the TSC may be fulfilled in whole or in part by a delegate appointed for that purpose by TSC.	At all times.
1.3	The cost of all works associated with the development and construction of the development including services, facilities and/or public utility alterations required are met at no cost to the Council or relevant utility provider, unless otherwise stated in a development condition.	At all times.
1.4	The developer is required to have repaired any damage to existing infrastructure that may have occurred during any works carried out associated with the development. To the extent the damage is deemed to create a hazard to the community, it must be repaired immediately.	At all times.
1.5	Unless otherwise stated, all works must be designed, constructed, and maintained in accordance with the relevant Council policies, guidelines, and standards, and the FNQROC Development Manual.	At all times.
1.6	All engineering drawings/specifications, design and construction works must comply with the requirements of the relevant Australian Standards and must be approved, supervised, and certified by a Registered Professional Engineer of Queensland (RPEQ).	At all times.
1.7	The use must not commence until all conditions of the approval relevant to each stage have been complied with. Stages to be developed in chronological order of each stage as identified on the approved plans. Unless otherwise expressly stated, the conditions must be read as being applicable to all stages.	Prior to the commencement of use.
1.8	All development conditions contained in this development approval about infrastructure under Chapter 4 of the Planning Act 2016 (the Act), should be read as being non-trunk infrastructure conditioned under section 145 of the Act, unless otherwise stated.	At all times.

<b>2.0</b>	<b>Approved Plans and Documents</b>				
2.1	The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by the conditions of this permit.				At all times
	<b>Drawing No.</b>	<b>Document Name</b>	<b>Revision</b>	<b>Date</b>	<b>Drawn by</b>
	SK01	Cover Sheet	2	20/12/2023	Nevele
	SK02	Perspective Views	2	20/12/2023	Nevele
	SK03	Site Plan	2	20/12/2023	Nevele

	SK04	Ground Floor Plan	2	20/12/2023	Nevele	
	SK05	First Floor Plan	2	20/12/2023	Nevele	
	SK06	Roof Plan	2	20/12/2023	Nevele	
	SK07	Elevations	2	20/12/2023	Nevele	
	SK08	Section A-A	2	20/12/2023	Nevele	
	<b>Stage 1</b>					
	SK01	Cover Sheet	4	21/01/2026	Nevele	
	SK03	Ground Floor Plan	4	20/12/2023	Nevele	
	SK06	Elevations	4	21/01/2026	Nevele	
	<b>Stage 2</b>					
	SK01	Cover Sheet	5	21/01/2026	Nevele	
	SK03	Ground Floor Plan	2	20/12/2023	Nevele	
	SK04	First Floor Plan	2	20/12/2023	Nevele	
	SK05	Roof Plan	2	20/12/2023	Nevele	
	SK06	Elevations	2	20/12/2023	Nevele	
2.2	Where there is any conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval must prevail.					At all times.

<b>3.0</b>	<b>Hours of Operation</b>				
3.1	The approved Cultural Activity uses must be conducted between the approved hours of operation. (a) Dance Shows - 10.30am – 2.30pm and 4.30pm – 8.30pm (b) Workshops/cultural activities – 8.00am – 8.00pm (c) Community dance lessons – 7.00pm – 9.00pm				At all times

<b>4.0</b>	<b>Amplified Noise</b>				
4.1	Amplified noise is restricted to the Dance Shows held in the undercover Entertainment Area detailed on the plan of development.				At all times.
4.2	Amplified noise must not occur outside the approved hours of operation of the Cultural Activities – Dance Shows.				At all times.

<b>5.0</b>	<b>Noise Management</b>				
5.1	The approved use must not produce wilfully or unlawfully environmental noise nuisance.				At all times.
5.2	Prepare and provide to Council for approval by Council's delegated officer a Noise Management Plan. The timing of lodgement of the Noise Management Plan can be deferred until requested by Council's delegated officer in response to a noise complaint.  The Noise Management Plan must state in detail how noise levels and complaints will be managed both immediately and long term. The Noise Management Plan must be undertaken and completed by an experienced and qualified person in acoustical noise				As stated.

	monitoring, analysis and control management. Council may require the operator to undertake a noise monitoring program and provide a copy of the results and report to Council. Noise monitoring and analysis must include the following noise measurements of LA1, LA10, LA90, LAeq and Lmax. Should noise levels exceed background noise levels, Council may require the applicant to provide noise mitigation controls, designs and barriers and enter into noise agreements.	
--	---	--

<b>6.0</b>	<b>Stormwater</b>	
6.1	Stormwater drainage must be directed to a lawful point of discharge being Douglas Street.	At all times.
6.2	Site works must not adversely affect flooding or drainage characterises of properties that are upstream, downstream, or adjacent to the development site.	At all times.
6.3	All stormwater infrastructure must be designed, constructed, and maintained in accordance with the FNQROC Development Manual and the Queensland Urban Drainage Manual.	At all times.

<b>7.0</b>	<b>Water and Sewerage</b>	
7.1	The development must be connected to Council's reticulated water network with sufficient capacity for firefighting purposes.	Prior to the commencement of use and at all times thereafter.
7.2	Connect the development to Council's reticulated sewerage network.	Prior to the commencement of use and at all times thereafter.
7.3	Design and construct all sewerage and water works in accordance with the approved plans, FNQROC Development Manual, Water Supply (Safety and Reliability) Act 2008 and the Plumbing and Drainage Act 2018.	Prior to the commencement of use and at all times thereafter

<b>8.0</b>	<b>Waste Storage</b>	
8.1	Store all waste within a designated waste storage area. The waste storage area must be: <ul style="list-style-type: none"> <li>(a) Designed and located to not cause nuisance to neighbouring properties;</li> <li>(b) Screened from any road frontage or adjoining property; and</li> <li>(c) Of a sufficient size to accommodate required number and type of bins.</li> </ul>	At all times

<b>9.0</b>	<b>Amenity – General</b>	
9.1	Install and maintain suitable screening to all air conditioning and plant and service facilities located on the top or external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the façade of the building.	At all times.

<b>10.0</b>	<b>Amenity - Lighting</b>	
10.1	Maintain outdoor lighting to comply with AS4282:1997 - Control of the obtrusive effects of outdoor lighting.	At all times.

<b>11.0</b>	<b>Amenity and Environmental Health</b>	
-------------	---	--

11.1	Undertake the approved development so there is no environmental nuisance or detrimental effect on any surrounding land uses and activities by reason of the emission of noise, vibration, odour, fumes, smoke, vapour, steam soot, ash, wastewater, waste products, oil or otherwise.	At all times.
------	---	---------------

**B. ASSESSMENT MANAGER (COUNCIL) ADVISORY NOTES**

1. This approval, granted under the provisions of *the Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect in accordance with the relevant provisions of s85 of the *Planning Act 2016*.
2. Prior to commencing any construction activities, the applicant/developer will be required to obtain further development permits for building work and plumbing and drainage work, as required under relevant legislation for this work.
3. Infrastructure Charges must be paid to Council as indicated on the Infrastructure Charges Notice at the rate applicable at the time of payment.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. No building materials or the like are to be stored on the footpath unless an appropriate approval from Council is obtained, including the payment of associated fees.
6. All building site managers must take all action necessary to ensure building materials and/or machinery on construction sites are secured immediately following the first potential cyclone warning and that relevant emergency telephone contacts are provided to Council Officers, prior to Commencement of Works.
7. The *Environmental Protection Act 1994* states a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard, persons and entities, involved in civil, earthworks and construction phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
8. Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area by reason of the emission of noise, vibration, smell, fumes, smoke vapour, steam, soot, ash, dust, wastewater, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council.
9. This development approval does not authorise any activity that may harm Aboriginal and Torres Strait Islander cultural heritage. It is also advised that any land use activities must comply with the *Aboriginal Cultural Heritage Act 2003* or the *Torres Strait Islander Heritage Act 2003*.
10. The Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* applies to action that has, will have or is likely to have a significant impact on matters of national environmental significance. Further information on the EPBC Act can be obtained from the Department of Agricultural, Water and the Environment website <https://www.environment.gov.au/epbc/about>



## APPROVED PLANS

Attached under separate cover (this page has been intentionally left blank)

**GENERAL NOTES**

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

**ABBREVIATIONS:**

- A.F.L. ABOVE FLOOR LEVEL
- A.F.F.L. ABOVE FINISHED FLOOR LEVEL
- APPROX. APPROXIMATE
- B BENCH
- BH BULKHEAD
- BR BROOM CUPBOARD
- BTH BATH TUB
- C.O.S. CONFIRM ON SITE
- CPD CUPBOARD
- CT COOKTOP
- CL CLOTHESLINE
- DFW DRY FLOOR WASTE
- DIA. DIAMETER
- DN DOWN
- DP DOWNPIPE
- DWR DRAWERS
- DW DISHWASHER
- FF FROG FLAP
- FW FLOOR WASTE
- HC HOSE COCK
- LN LINEN
- MSB MAIN SWITCH BOARD
- N.S.L. NATURAL SURFACE LEVEL
- OA OVERALL
- O/H OVERHANG
- O/HC OVERHEAD CUPBOARD
- ORG OVERFLOW RELIEF GULLY
- OV OVEN
- PAD BUILDING PAD
- PIT STORMWATER PIT
- PTY PANTRY
- RA RODDING ACCESS
- REF REFRIGERATOR SPACE
- ROBE WARDROBE
- RV ROOF VENT
- SA SMOKE ALARM
- SB SPLASH BACK
- S/B SETBACK
- SH SHELF FIXED
- SHR SHOWER
- S-HWU SOLAR HOT WATER UNIT
- SJ SAW JOINT
- SK SINK
- SVP 500 SOIL VENT PIPE
- TUB LAUNDRY TUB
- VB VANITY BASIN
- WC TOILET
- WCJ WALL CONTROL JOINT
- WM WASHING MACHINE
- U.N.O. UNLESS NOTED OTHERWISE

**GENERAL NOTES:**

1. SCOPE EXTENT TO BE CONFIRMED/ VERIFIED PRIOR TO COMMENCING ANY WORK ON SITE. ALL MEASUREMENTS TO BE CONFIRMED/ VERIFIED ON SITE BY THE MANAGING CONTRACTOR.
2. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER. THE MANUFACTURER SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF REVIEWED SHOP DRAWINGS SIGNED BY THE RELEVANT CONSULTANT.
3. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATION (WHERE SUPPLIED) AND ALL CONSULTANT DRAWINGS AND SPECIFICATIONS.
5. ALL BUILDING WORK SHALL COMPLY WITH ALL THE LOCAL AUTHORITY REGULATIONS AND ALL RELEVANT STANDARDS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHINGS, TANKING AND DPC REQUIRED TO PREVENT THE ENTRY OF MOISTURE INTO THE BUILDING.
7. PRIOR TO COMMENCEMENT OF WORK ON SITE ALL RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE LOCATION OF ALL POSSIBLE UNDERGROUND SERVICES.
8. PRIOR TO SETOUT & CONSTRUCTION OF ALL CONCRETE WALLS, CONFIRM ALL DIMENSIONS OF WALL THICKNESSES ON THESE DRAWINGS AGAINST THE LATEST STRUCTURAL ENGINEER'S DRAWINGS & ALL SUBCONTRACTOR DRAWINGS.
9. CROSS REFERENCE ALL DOOR OPENINGS AS DIMENSIONED WITH DOOR SCHEDULE PRIOR TO CONSTRUCTION.

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
 2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
 3. DO NOT SCALE FROM DRAWINGS.  
 4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
 DRAWING IS COPYRIGHT © NEVELE ARCHITECTS AND MUST NOT BE ALTERED OR REPLICATED.

**DRAWING LIST**

NUMBER	DESCRIPTION	ISSUE DATE	REVISION No.
SK01	COVER SHEET	21/01/2026	4
SK02	SITE PLAN	21/01/2026	4
SK03	GROUND FLOOR PLAN	21/01/2026	4
SK04	FIRST FLOOR PLAN	21/01/2026	4
SK05	ROOF PLAN	21/01/2026	4
SK06	ELEVATIONS	21/01/2026	4
SK07	SECTION A-A	21/01/2026	4

# ISLAND STARS ADDITIONS

## 42 DOUGLAS STREET, THURSDAY ISLAND

**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED**

**APPROVED PLAN**

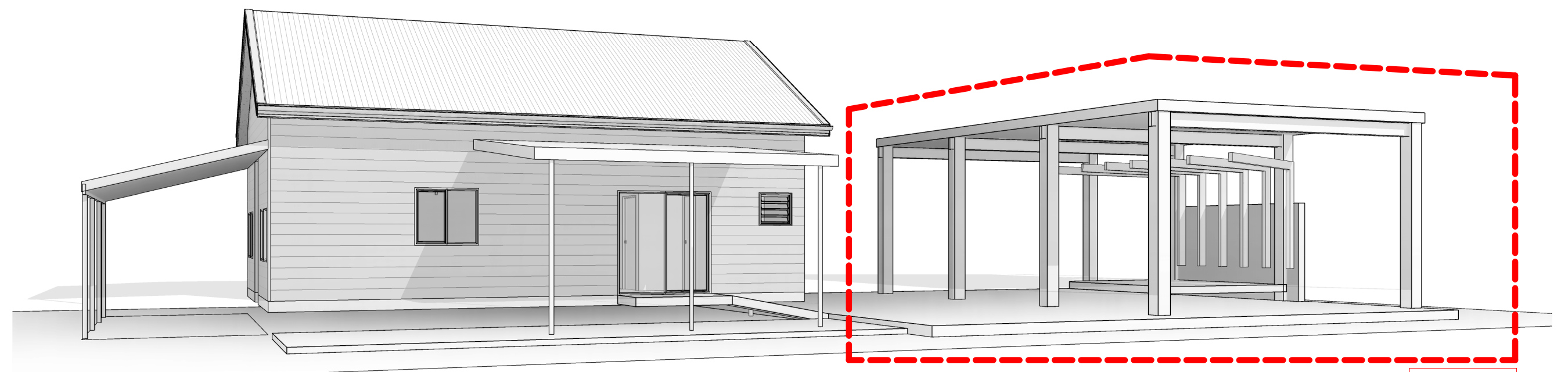
**Development Application:** Minor Change to Development Permit for Material Change of Use—Dwelling Unit and Undefined Land Use (Cultural Activities)

**Lot details:** Lot 1 RP716988

Referred to in Council's Decision Notice

**Approval Date:** 21 April 2026

**Application Number:** IDAS 24/02



STAGE 1

ASSESSMENT ISSUE - STAGE 1

## PROPOSED ADDITIONS

### ISLAND STARS

42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

NEVELE

ABN 31 639 960 704 | Reg No. 5977  
 m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
 a shop 5, 116 -118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)

DRAWN BY:	CD	JOB No:	11-1702
SCALE:	N.T.S.	SHEET No:	SK01
START DATE:	OCTOBER 2023	REVISION DATE:	21/01/2026
REVISION DATE:	21/01/2026	REV No:	4

### SMOKE DETECTORS:

REFER PART 9.5.4. OF THE NCC VOL 2: SMOKE ALARMS IN THE DWELLING MUST:

- i) BE PHOTOELECTRIC (AS 3786-2014); AND
- ii) NOT ALSO CONTAIN AN IONISATION SENSOR; AND
- iii) BE HARDWIRED TO THE MAINS POWER SUPPLY WITH A SECONDARY POWER SOURCE (I.E. BATTERY);
- iv) BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ACTIVATE TOGETHER. SMOKE ALARMS MUST BE INSTALLED ON EACH STOREY:
- i) IN EACH BEDROOM; AND
- ii) IN HALLWAYS WHICH CONNECT BEDROOMS AND THE REST OF THE DWELLING; OR
- iii) IF THERE IS NO HALLWAY, BETWEEN THE BEDROOMS AND OTHER PARTS OF THE STOREY;
- iv) IF THERE ARE NO BEDROOMS ON A STOREY AT LEAST ONE SMOKE ALARM MUST BE INSTALLED IN THE MOST LIKELY PATH OF TRAVEL TO EXIT THE DWELLING. WHERE PRACTICABLE SMOKE ALARMS MUST BE PLACED ON THE CEILING.

SMOKE ALARMS MUST NOT BE PLACED:

- i) WITHIN 300MM OF A CORNER OF A CEILING AND A WALL;
- ii) WITHIN 300MM OF A LIGHT FITTING;
- iii) WITHIN 400MM OF AN AIR-CONDITIONING VENT;
- iv) WITHIN 400MM OF THE BLADES OF A CEILING FAN.

THERE ARE SPECIAL REQUIREMENTS FOR STAIRWAYS, SLOPING CEILINGS, AND CEILINGS WITH EXPOSED BEAMS. SPECIFIC REQUIREMENTS WILL BE EXPLAINED IN THE BUILDING FIRE SAFETY REGULATION 2008.

IF IMPRACTICAL FOR THE PRESCRIBED LOCATION REQUIREMENTS TO BE MET (E.G. MAY BE AFFECTED BY STEAM FROM SHOWER OR FUMES FROM COOKING), THE OWNER MAY PUT THE ALARM AT ANOTHER LOCATION THAT WILL PROVIDE A WARNING TO OCCUPANTS OF THE DWELLING.

### WATERPROOFING NOTES:

1. WET AREA WATERPROOFING TO COMPLY WITH PART F1.7 OF THE NCC VOL 1 AND AS3740. TILES AND WETSTOP ANGLES REQUIRED AT DOORWAYS (WET AREAS) OR WATERPROOF VINYL TESTED IN ACCORDANCE WITH AS3740 TO BE USED.
2. WATERPROOFING TO EXTEND A MINIMUM OF 1500mm FROM WHERE THE SHOWER POINT MEETS THE WALL.

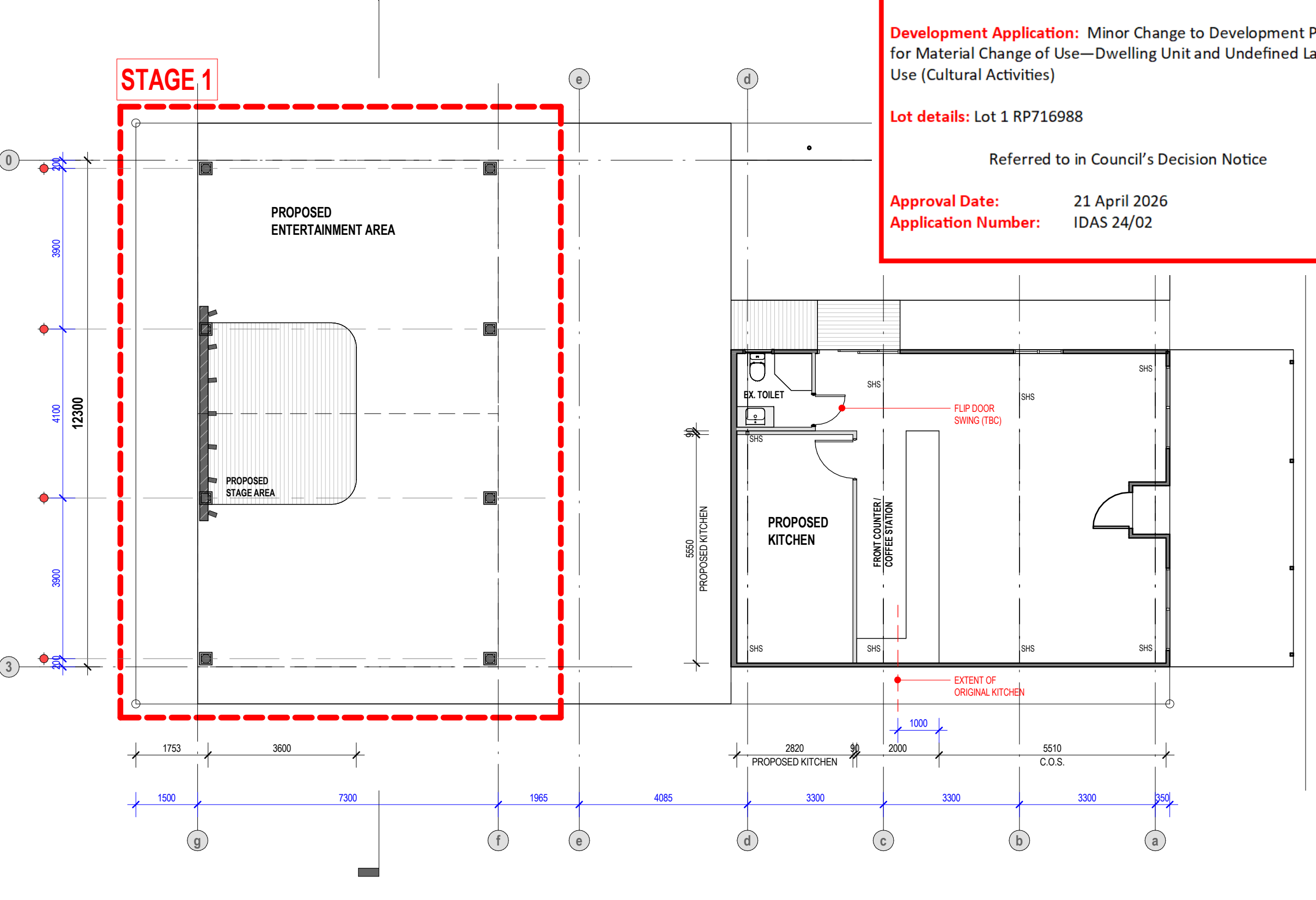
### OPERATION OF LATCH:

**NCC 2019 BCA VOLUME ONE PART D2.21(A)**

a) A DOOR IN A REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT MUST BE READILY OPENABLE WITHOUT A KEY FROM EACH SIDE THAT FACES A PERSON SEEKING EGRESS BY:

- (i) A SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1100mm FROM THE FLOOR AND IF SERVING AN AREA REQUIRED TO BE ACCESSIBLE BY PART D3 - (A) BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING THE OPERATION OF THE LATCH; AND (B) HAVE A CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE AT THE CENTRE GRIP SECTION OF THE HANDLE OF NOT LESS THEN 35mm AND NOT MORE THEN 45mm; OR
- (ii) A SINGLE HAND PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1.2m FROM THE FLOOR; AND
- (iii) WHERE THE LATCH OPERATION DEVICE REFERRED TO IN (ii) IS NOT LOCATED ON THE DOOR LEAF ITSELF - (A) MANUAL CONTROLS TO POWER-OPERATED DOORS MUST BE AT LEAST 25mm WIDE, PROUD OF THE SURROUNDING SURFACE AND LOCATED - (aa) NOT LESS THAN 500mm FROM AN INTERNAL CORNER; AND (bb) FOR A HINGED DOOR, BETWEEN 1m AND 2m FROM THE DOOR LEAF IN ANY POSITION; AND (cc) FOR A SLIDING DOOR, WITHIN 2m OF THE DOORWAY AND CLEAR OF A SURFACE MOUNTED DOOR IN THE OPEN POSITION.
- (B) BRAILLE AND TACTILE SIGNAGE COMPLYING WITH CLAUSE 3 AND 6 OF SPECIFICATION D3.6 MUST IDENTIFY THE LATCH OPERATION DEVICE.

AREA SCHEDULE	
ROOM NAME	AREA
EXISTING COMMERCIAL	80.94 m <sup>2</sup>
PROPOSED ACCOMMODATION	89.10 m <sup>2</sup>
PROPOSED ENTERTAINMENT AREA	89.79 m <sup>2</sup>
TOTAL AREA	259.83 m <sup>2</sup>



**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED  
APPROVED PLAN**

**Development Application:** Minor Change to Development Permit for Material Change of Use—Dwelling Unit and Undefined Land Use (Cultural Activities)

**Lot details:** Lot 1 RP716988

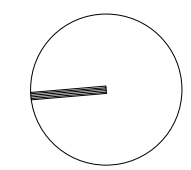
Referred to in Council's Decision Notice

**Approval Date:** 21 April 2026  
**Application Number:** IDAS 24/02

**GROUND FLOOR**  
SCALE 1 : 100

PRINT IN COLOUR (A3)

**ASSESSMENT ISSUE - STAGE 1**



1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
3. DO NOT SCALE FROM DRAWINGS.  
4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.

DRAWING IS COPYRIGHT TO NEVELE ARCHITECTS© AND MUST NOT BE ALTERED OR REPLICATED.

**PROPOSED ADDITIONS**  
**ISLAND STARS**  
42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**

ABN 31 639 960 704 | Reg No. 5977  
m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
a shop 5, 116-118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)

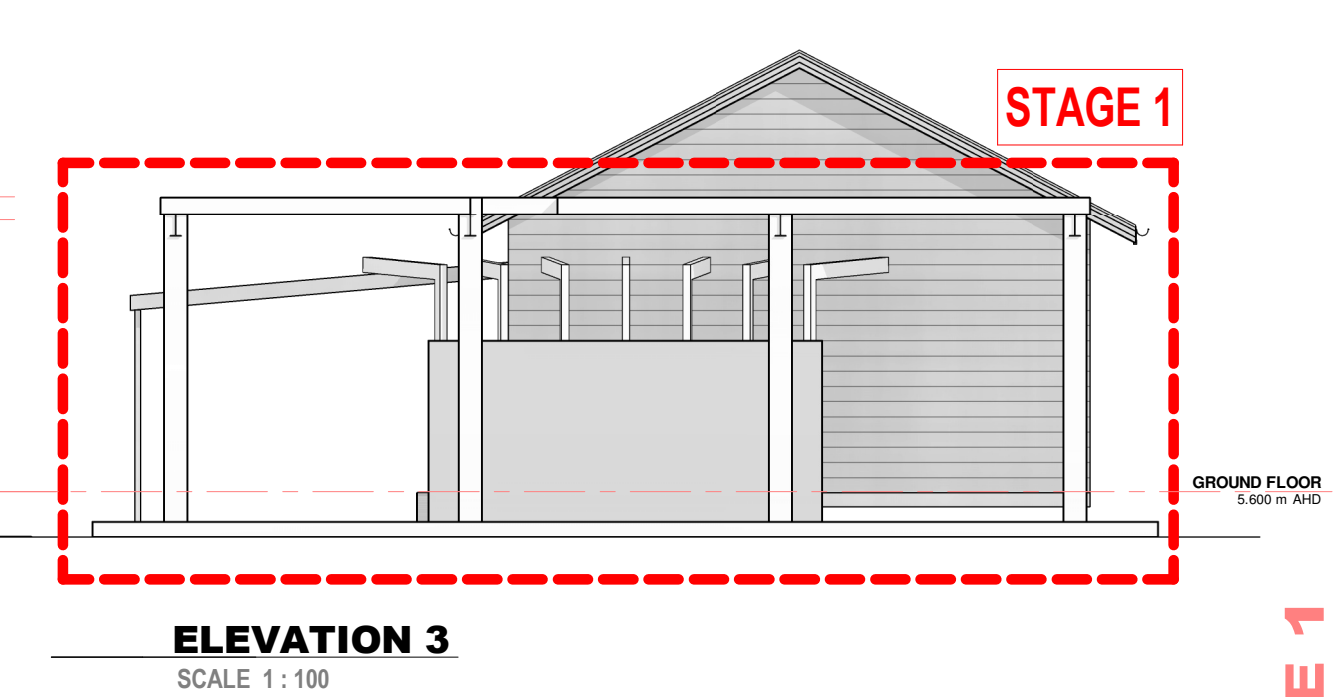
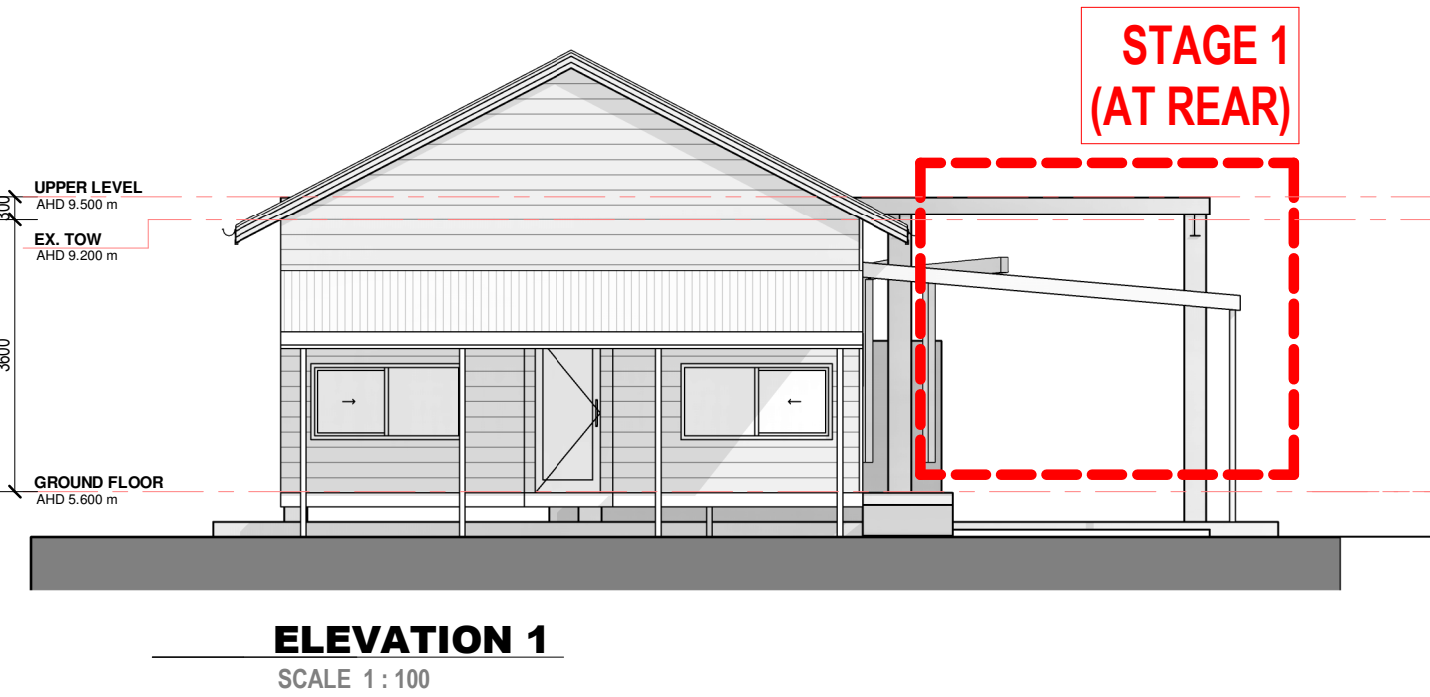
DRAWN BY:	<b>CD</b>	JOB No:	<b>11-1702</b>
SCALE:	<b>1 : 100</b>	SHEET No:	
START DATE:	<b>OCTOBER 2023</b>	REV No:	<b>4</b>
REVISION DATE:	21/01/2026		

**NOTES:**

1. EYEBROW FLASHINGS TO BE INSTALLED ABOVE THE HEADS OF ALL EXPOSED WINDOW OPENINGS.
2. STAIRS CONSTRUCTION TO COMPLY WITH NCC VOL 1, PART D3D14 FOR THE COMPOSITION OF THE STRINGERS, TREAD TYPES, GOINGS AND RISERS.
3. SLIP RESISTANCE REQUIREMENTS FOR STAIR TREADS IN REFERENCE TO NCC VOL 1, TABLE D3D15 SLIP-RESISTANCE CLASSIFICATION.
4. BALUSTRADE BE CONSTRUCTED IN ACCORDANCE WITH NCC 2022, PART D3D17, STRUCTURAL DESIGN IN ACCORDANCE WITH AS1107.1
5. FALL PROTECTION ON WINDOWS TO BE IN ACCORDANCE WITH NCC REQUIREMENTS PART D3D29.
6. ROOFING TO BE INSTALLED TO PREVENT WATER PENETRATION INTO THE BUILDING STRUCTURE. (NCC VOL 2 PART 7.2).

**NON-COMBUSTIBLE ELEMENTS:**  
EXTERNAL WALLS AND ANCILLARY BUILDING ELEMENTS (AWNINGS / WINDOW HOODS, BALUSTRADE, AND SCREENS) TO BE CONSTRUCTED FROM NON-COMBUSTIBLE MATERIALS.

**ROOF: PITCH 25° / OVERHANG 600mm**



**TORRES SHIRE COUNCIL**

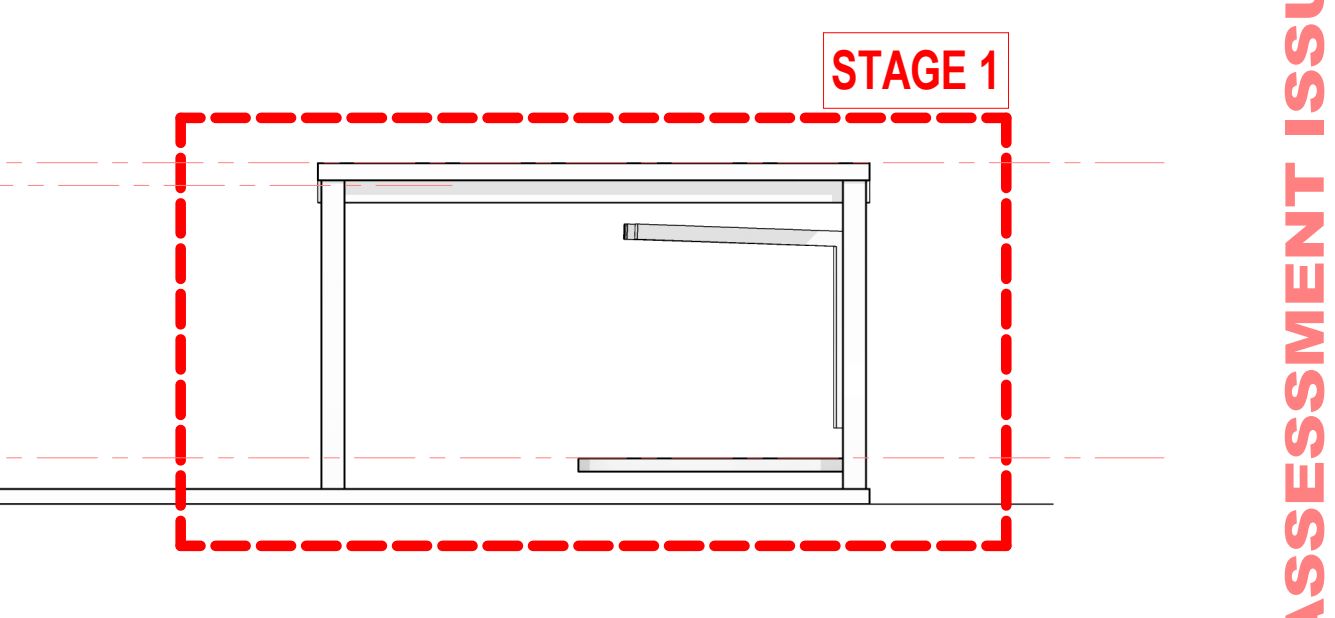
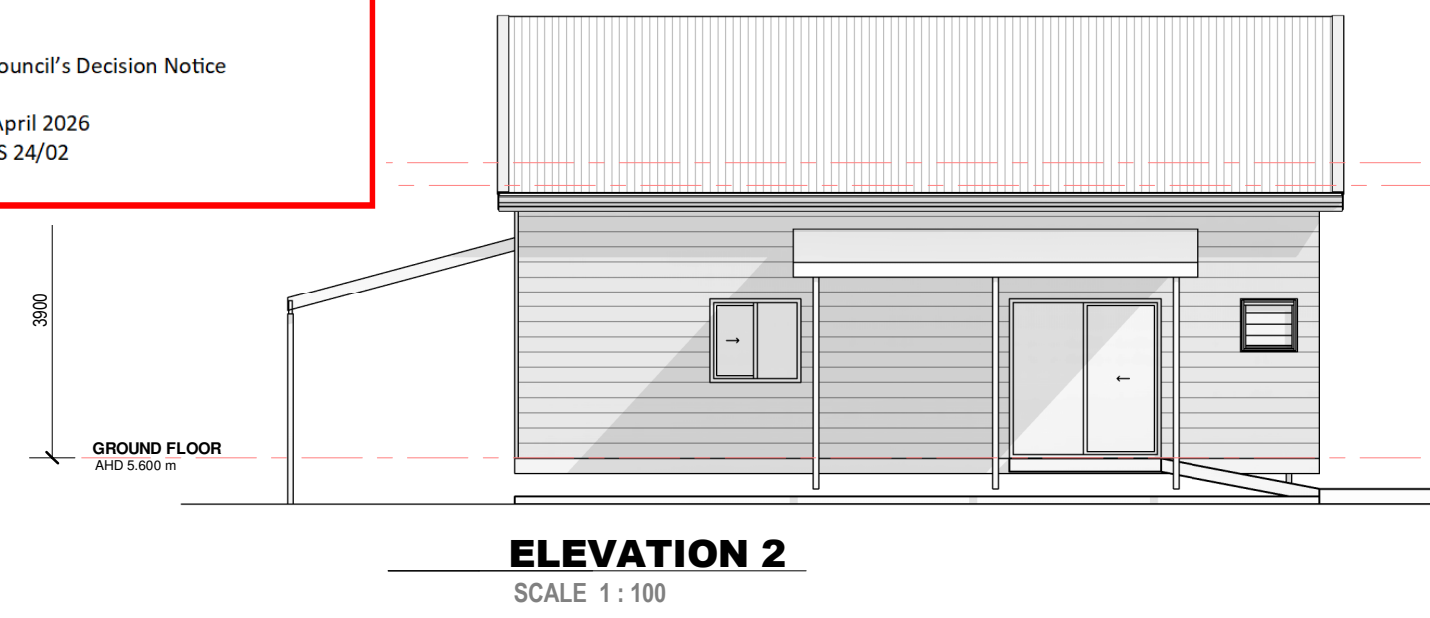
DIGITALLY STAMPED  
APPROVED PLAN

**Development Application:** Minor Change to Development Permit for Material Change of Use—Dwelling Unit and Undefined Land Use (Cultural Activities)

**Lot details:** Lot 1 RP716988

Referred to in Council's Decision Notice

**Approval Date:** 21 April 2026  
**Application Number:** IDAS 24/02



PRINT IN COLOUR (A3)

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
3. DO NOT SCALE FROM DRAWINGS.  
4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
DRAWING IS COPYRIGHT TO NEVELE ARCHITECTS© AND MUST NOT BE ALTERED OR REPLICATED.

**PROPOSED ADDITIONS**  
**ISLAND STARS**  
42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**  
ABN 31 639 960 704 | Reg No. 5977  
m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
a shop 5, 116-118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)

DRAWN BY:	<b>CD</b>	JOB No:	<b>11-1702</b>
SCALE:	<b>1 : 100</b>	SHEET No:	<b>SK06</b>
START DATE:	<b>OCTOBER 2023</b>	REVISION DATE:	21/01/2026
REVISION DATE:	21/01/2026	REV No:	<b>4</b>

**ASSESSMENT ISSUE - STAGE 1**

**GENERAL NOTES**

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

**ABBREVIATIONS:**

- A.F.L. ABOVE FLOOR LEVEL
- A.F.F.L. ABOVE FINISHED FLOOR LEVEL
- APPROX. APPROXIMATE
- B BENCH
- BH BULKHEAD
- BR BROOM CUPBOARD
- BTH BATH TUB
- C.O.S. CONFIRM ON SITE
- CPD CUPBOARD
- CT COOKTOP
- CL CLOTHESLINE
- DFW DRY FLOOR WASTE
- DIA. DIAMETER
- DN DOWN
- DP DOWNPIPE
- DWR DRAWERS
- DW DISHWASHER
- FF FROG FLAP
- FW FLOOR WASTE
- HC HOSE COCK
- LN LINEN
- MSB MAIN SWITCH BOARD
- N.S.L. NATURAL SURFACE LEVEL
- OA OVERALL
- O/H OVERHANG
- O/H/C OVERHEAD CUPBOARD
- ORG OVERFLOW RELIEF GULLY
- OV OVEN
- PAD BUILDING PAD
- PIT STORMWATER PIT
- PTY PANTRY
- RA RODDING ACCESS
- REF REFRIGERATOR SPACE
- ROBE WARDROBE
- RV ROOF VENT
- SA SMOKE ALARM
- SB SPLASH BACK
- S/B SETBACK
- SH SHELF FIXED
- SHR SHOWER
- S-HWU SOLAR HOT WATER UNIT
- SJ SAW JOINT
- SK SINK
- SVP 50Ø SOIL VENT PIPE
- TUB LAUNDRY TUB
- VB VANITY BASIN
- WC TOILET
- WCJ WALL CONTROL JOINT
- WM WASHING MACHINE
- U.N.O. UNLESS NOTED OTHERWISE

**GENERAL NOTES:**

1. SCOPE EXTENT TO BE CONFIRMED/ VERIFIED PRIOR TO COMMENCING ANY WORK ON SITE. ALL MEASUREMENTS TO BE CONFIRMED/ VERIFIED ON SITE BY THE MANAGING CONTRACTOR.
2. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER. THE MANUFACTURER SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF REVIEWED SHOP DRAWINGS SIGNED BY THE RELEVANT CONSULTANT.
3. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATION (WHERE SUPPLIED) AND ALL CONSULTANT DRAWINGS AND SPECIFICATIONS.
5. ALL BUILDING WORK SHALL COMPLY WITH ALL THE LOCAL AUTHORITY REGULATIONS AND ALL RELEVANT STANDARDS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHINGS, TANKING AND DPC REQUIRED TO PREVENT THE ENTRY OF MOISTURE INTO THE BUILDING.
7. PRIOR TO COMMENCEMENT OF WORK ON SITE ALL RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE LOCATION OF ALL POSSIBLE UNDERGROUND SERVICES.
8. PRIOR TO SETOUT & CONSTRUCTION OF ALL CONCRETE WALLS, CONFIRM ALL DIMENSIONS OF WALL THICKNESSES ON THESE DRAWINGS AGAINST THE LATEST STRUCTURAL ENGINEER'S DRAWINGS & ALL SUBCONTRACTOR DRAWINGS.
9. CROSS REFERENCE ALL DOOR OPENINGS AS DIMENSIONED WITH DOOR SCHEDULE PRIOR TO CONSTRUCTION.

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
 2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
 3. DO NOT SCALE FROM DRAWINGS.  
 4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
 DRAWING IS COPYRIGHT © NEVELE ARCHITECTS AND MUST NOT BE ALTERED OR REPLICATED.

**DRAWING LIST**

NUMBER	DESCRIPTION	ISSUE DATE	REVISION No.
SK01	COVER SHEET	21/01/2026	5
SK02	SITE PLAN	21/01/2026	5
SK03	GROUND FLOOR PLAN	21/01/2026	5
SK04	FIRST FLOOR PLAN	21/01/2026	5
SK05	ROOF PLAN	21/01/2026	5
SK06	ELEVATIONS	21/01/2026	5
SK07	SECTION A-A	21/01/2026	5

# ISLAND STARS ADDITIONS

## 42 DOUGLAS STREET, THURSDAY ISLAND

**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED**

**APPROVED PLAN**

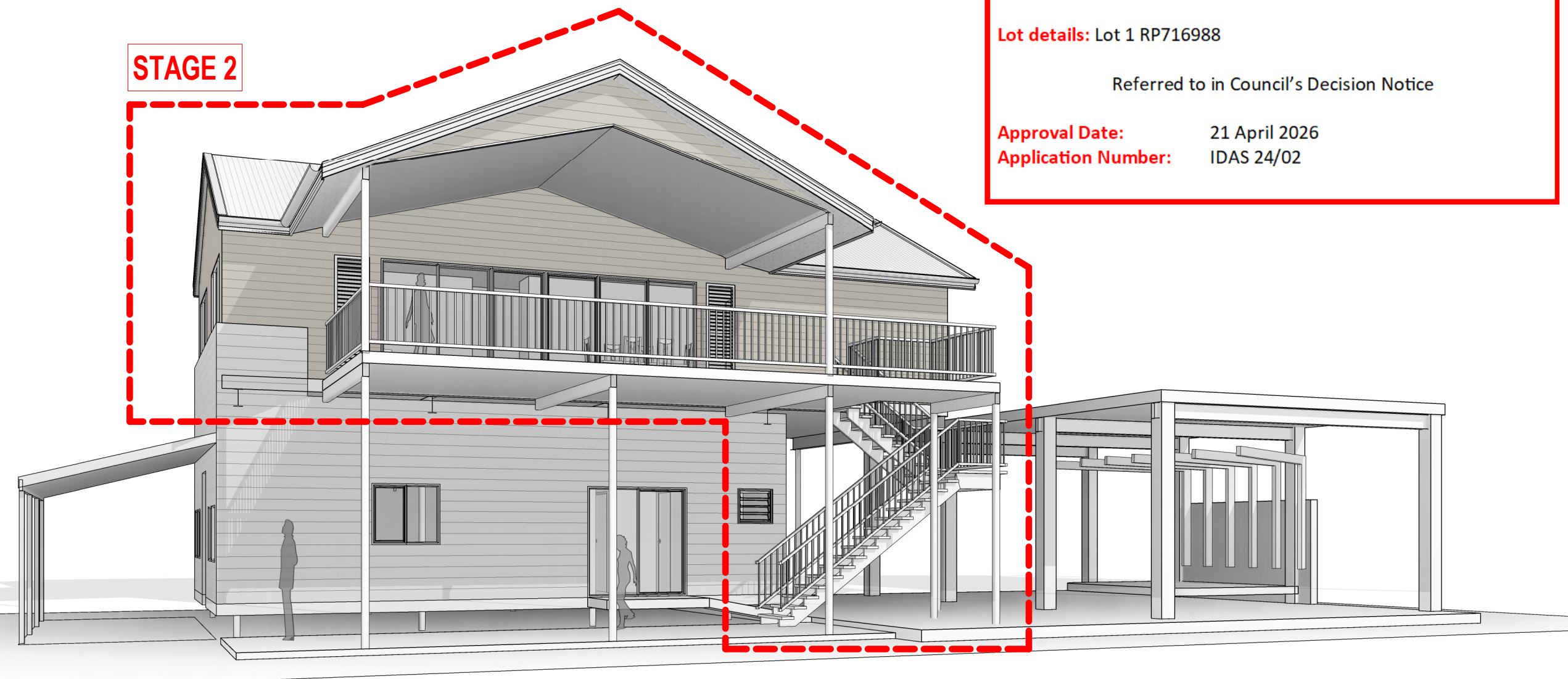
**Development Application:** Minor Change to Development Permit for Material Change of Use—Dwelling Unit and Undefined Land Use (Cultural Activities)

**Lot details:** Lot 1 RP716988

Referred to in Council's Decision Notice

**Approval Date:** 21 April 2026  
**Application Number:** IDAS 24/02

**STAGE 2**



**ASSESSMENT ISSUE - STAGE 2**

### PROPOSED ADDITIONS

#### ISLAND STARS

42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**

ABN 31 639 960 704 | Reg No. 5977  
 m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
 a shop 5, 116 -118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)
5	21/01/2026	ASSESSMENT ISSUE C (STAGE 2)

DRAWN BY:	<b>CD</b>	JOB No:	<b>11-1702</b>
SCALE:	<b>N.T.S.</b>	SHEET No:	<b>SK01</b>
START DATE:	<b>OCTOBER 2023</b>	REV No:	<b>5</b>
REVISION DATE:	21/01/2026		

**SMOKE DETECTORS:**

REFER PART 9.5.4. OF THE NCC VOL 2: SMOKE ALARMS IN THE DWELLING MUST:  
 i) BE PHOTOELECTRIC (AS 3786-2014); AND  
 ii) NOT ALSO CONTAIN AN IONISATION SENSOR; AND  
 iii) BE HARDWIRED TO THE MAINS POWER SUPPLY WITH A SECONDARY POWER SOURCE (I.E. BATTERY);  
 iv) BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ACTIVATE TOGETHER. SMOKE ALARMS MUST BE INSTALLED ON EACH STOREY:  
 i) IN EACH BEDROOM; AND  
 ii) IN HALLWAYS WHICH CONNECT BEDROOMS AND THE REST OF THE DWELLING; OR  
 iii) IF THERE IS NO HALLWAY, BETWEEN THE BEDROOMS AND OTHER PARTS OF THE STOREY;  
 iv) IF THERE ARE NO BEDROOMS ON A STOREY AT LEAST ONE SMOKE ALARM MUST BE INSTALLED IN THE MOST LIKELY PATH OF TRAVEL TO EXIT THE DWELLING. WHERE PRACTICABLE SMOKE ALARMS MUST BE PLACED ON THE CEILING.

SMOKE ALARMS MUST NOT BE PLACED:  
 i) WITHIN 300MM OF A CORNER OF A CEILING AND A WALL;  
 ii) WITHIN 300MM OF A LIGHT FITTING;  
 iii) WITHIN 400MM OF AN AIR-CONDITIONING VENT;  
 iv) WITHIN 400MM OF THE BLADES OF A CEILING FAN.

THERE ARE SPECIAL REQUIREMENTS FOR STAIRWAYS, SLOPING CEILINGS, AND CEILINGS WITH EXPOSED BEAMS. SPECIFIC REQUIREMENTS WILL BE EXPLAINED IN THE BUILDING FIRE SAFETY REGULATION 2008.  
 IF IMPRACTICAL FOR THE PRESCRIBED LOCATION REQUIREMENTS TO BE MET (E.G. MAY BE AFFECTED BY STEAM FROM SHOWER OR FUMES FROM COOKING), THE OWNER MAY PUT THE ALARM AT ANOTHER LOCATION THAT WILL PROVIDE A WARNING TO OCCUPANTS OF THE DWELLING.

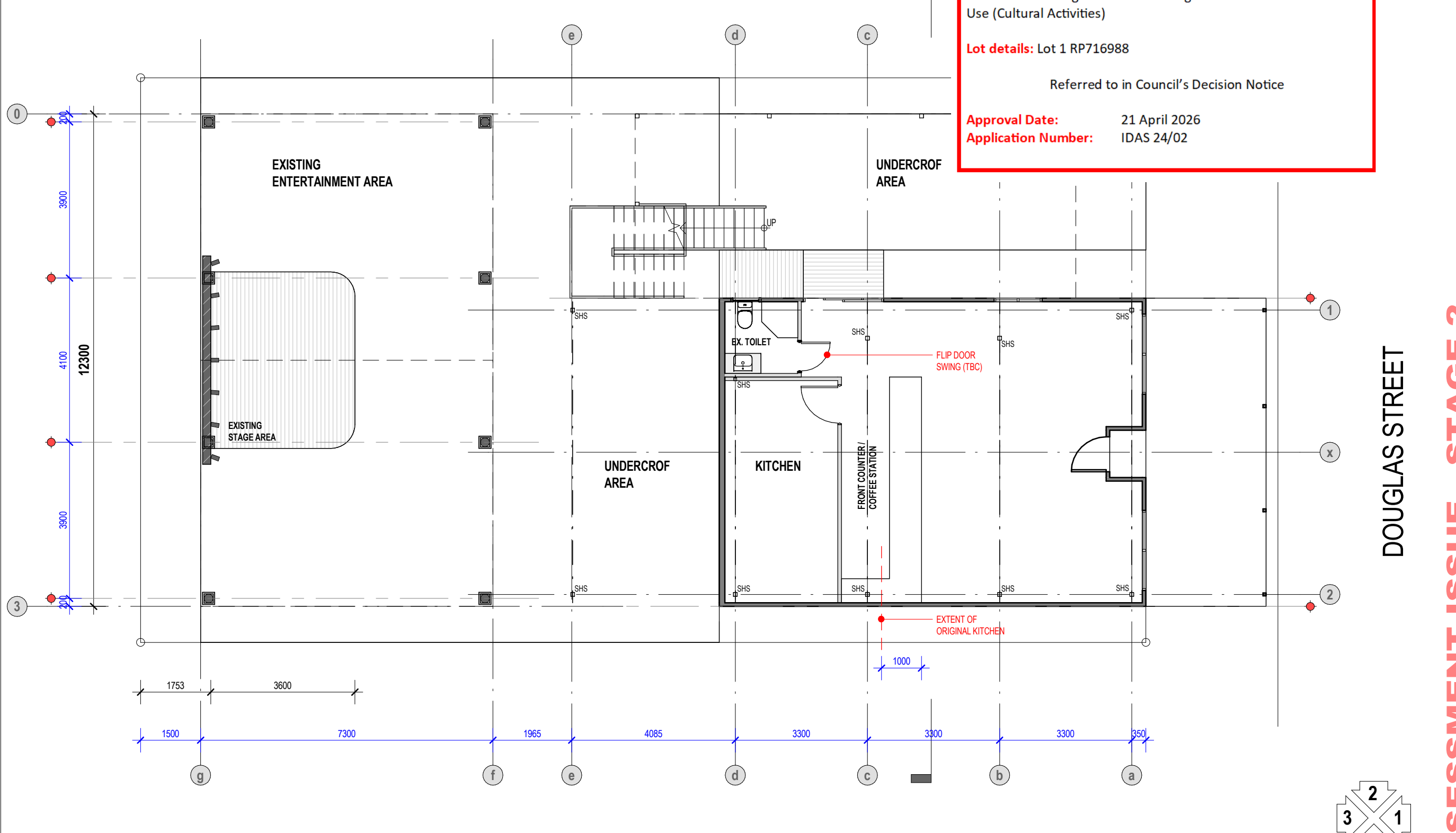
**WATERPROOFING NOTES:**

1. WET AREA WATERPROOFING TO COMPLY WITH PART F1.7 OF THE NCC VOL 1 AND AS3740. TILES AND WETSTOP ANGLES REQUIRED AT DOORWAYS (WET AREAS) OR WATERPROOF VINYL TESTED IN ACCORDANCE WITH AS3740 TO BE USED.  
 2. WATERPROOFING TO EXTEND A MINIMUM OF 1500mm FROM WHERE THE SHOWER POINT MEETS THE WALL.

**OPERATION OF LATCH:**

NCC 2019 BCA VOLUME ONE PART D2.21(A)  
 a) A DOOR IN A REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT MUST BE READILY OPENABLE WITHOUT A KEY FROM EACH SIDE THAT FACES A PERSON SEEKING EGRESS BY:  
 (i) A SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1100mm FROM THE FLOOR AND IF SERVING AN AREA REQUIRED TO BE ACCESSIBLE BY PART D3 - (A) BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING THE OPERATION OF THE LATCH; AND (B) HAVE A CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE AT THE CENTRE GRIP SECTION OF THE HANDLE OF NOT LESS THEN 35mm AND NOT MORE THEN 45mm; OR  
 (ii) A SINGLE HAND PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1.2m FROM THE FLOOR; AND  
 (iii) WHERE THE LATCH OPERATION DEVICE REFERRED TO IN (ii) IS NOT LOCATED ON THE DOOR LEAF ITSELF - (A) MANUAL CONTROLS TO POWER-OPERATED DOORS MUST BE AT LEAST 25mm WIDE, PROUD OF THE SURROUNDING SURFACE AND LOCATED - (aa) NOT LESS THAN 500mm FROM AN INTERNAL CORNER; AND (bb) FOR A HINGED DOOR, BETWEEN 1m AND 2m FROM THE DOOR LEAF IN ANY POSITION; AND (cc) FOR A SLIDING DOOR, WITHIN 2m OF THE DOORWAY AND CLEAR OF A SURFACE MOUNTED DOOR IN THE OPEN POSITION.  
 (B) BRAILLE AND TACTILE SIGNAGE COMPLYING WITH CLAUSE 3 AND 6 OF SPECIFICATION D3.6 MUST IDENTIFY THE LATCH OPERATION DEVICE.

AREA SCHEDULE	
ROOM NAME	AREA
PROPOSED OUTDOOR LIVING	47.79 m <sup>2</sup>
EX. COMMERCIAL	80.94 m <sup>2</sup>
EX. ACCOMMODATION	89.10 m <sup>2</sup>
EX. ENTERTAINMENT AREA	89.79 m <sup>2</sup>
PROPOSED RESIDENCE	110.03 m <sup>2</sup>
TOTAL AREA	417.66 m <sup>2</sup>



**GROUND FLOOR**  
SCALE 1 : 100

**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED**

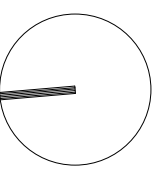
**APPROVED PLAN**

**Development Application:** Minor Change to Development Permit for Material Change of Use—Dwelling Unit and Undefined Land Use (Cultural Activities)

**Lot details:** Lot 1 RP716988

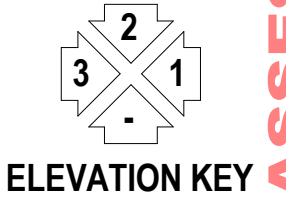
Referred to in Council's Decision Notice

**Approval Date:** 21 April 2026  
**Application Number:** IDAS 24/02



**ASSESSMENT ISSUE - STAGE 2**

PRINT IN COLOUR (A3)



1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
 2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
 3. DO NOT SCALE FROM DRAWINGS.  
 4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
 DRAWING IS COPYRIGHT TO NEVELE ARCHITECTS AND MUST NOT BE ALTERED OR REPLICATED.

**PROPOSED ADDITIONS**  
**ISLAND STARS**  
 42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**  
 ABN 31 639 960 704 | Reg No. 5977  
 m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
 a shop 5, 116 -118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)
5	21/01/2026	ASSESSMENT ISSUE C (STAGE 2)

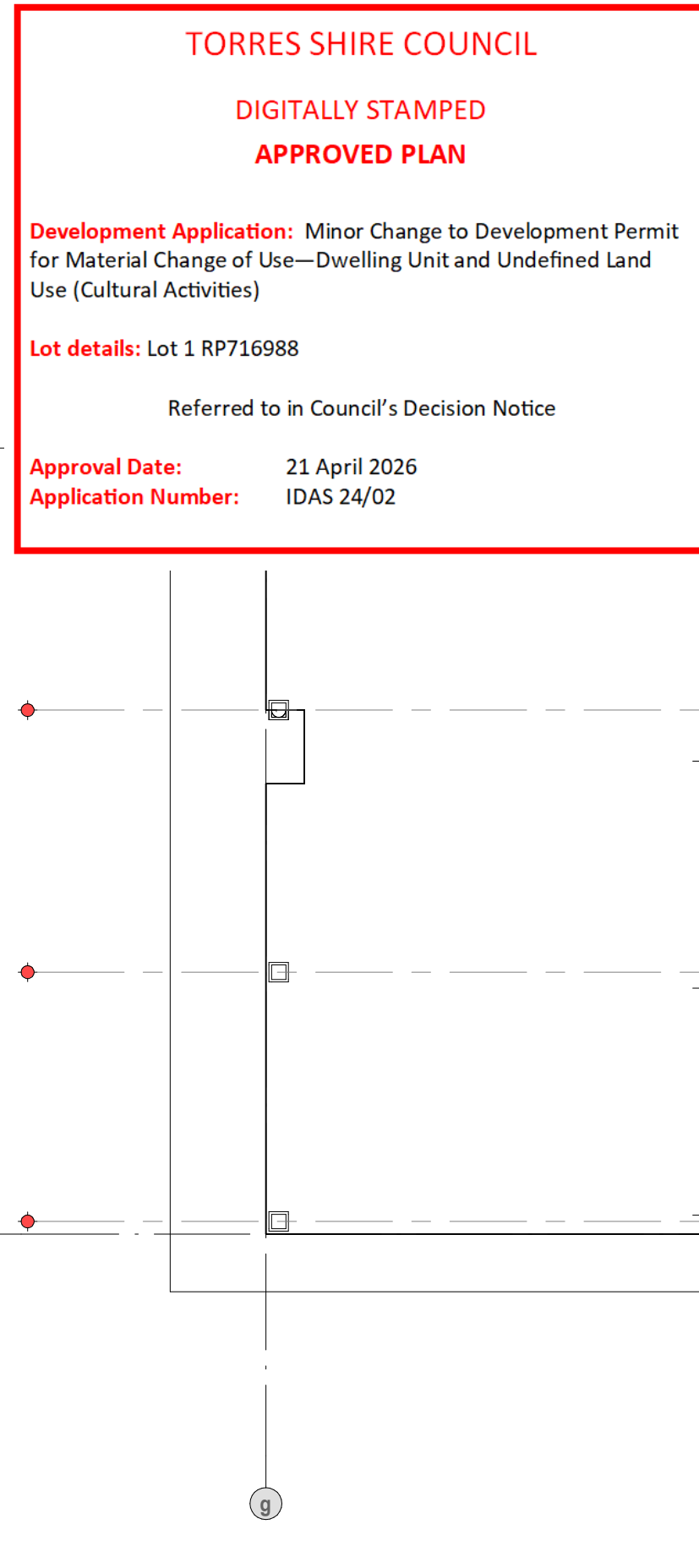
<b>DRAWN BY:</b>	<b>CD</b>	<b>JOB No:</b>
<b>SCALE:</b>	<b>1 : 100</b>	<b>11-1702</b>
<b>START DATE:</b>	<b>OCTOBER 2023</b>	<b>SHEET No:</b>
<b>REVISION DATE:</b>	21/01/2026	<b>SK03</b>

<b>REV No:</b>	<b>5</b>
----------------	----------



**ROOF NOTES:**

1. REFER TO HYDRAULIC DRAWINGS FOR ROOF PENETRATIONS WHERE PROVIDED.
2. REFER TO ELECTRICAL DRAWINGS FOR ROOF MOUNTED SATELLITE DISHES AND THE LIKE.
3. ENSURE ROOF MOUNTED EQUIPMENT IS COMPATIBLE WITH SPECIFIED ROOFING MATERIALS.
4. POSITION OF DOWNPIPES INDICATIVE ONLY - CONFIRM LOCATION WITH SUITABLY QUALIFIED HYDRAULIC PROFESSIONAL, ALLOW MINIMUM OF 90mm uPVC DOWNPIPES 1 PER 35 SQ.M.



**ROOF PLAN**  
SCALE 1 : 100

**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED**

**APPROVED PLAN**

**Development Application:** Minor Change to Development Permit for Material Change of Use—Dwelling Unit and Undefined Land Use (Cultural Activities)

**Lot details:** Lot 1 RP716988

Referred to in Council's Decision Notice

**Approval Date:** 21 April 2026  
**Application Number:** IDAS 24/02

PRINT IN COLOUR (A3)

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
3. DO NOT SCALE FROM DRAWINGS.  
4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
DRAWING IS COPYRIGHT TO NEVELE ARCHITECTS© AND MUST NOT BE ALTERED OR REPLICATED.

**PROPOSED ADDITIONS**  
**ISLAND STARS**  
42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**  
ABN 31 639 960 704 | Reg No. 5977  
m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
a shop 5, 116-118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)
5	21/01/2026	ASSESSMENT ISSUE C (STAGE 2)

<b>DRAWN BY:</b>	<b>CD</b>
<b>SCALE:</b>	<b>1 : 100</b>
<b>START DATE:</b>	<b>OCTOBER 2023</b>
<b>REVISION DATE:</b>	21/01/2026

<b>JOB No:</b>	<b>11-1702</b>
<b>SHEET No:</b>	<b>SK05</b>
<b>REV No:</b>	<b>5</b>

**ASSESSMENT ISSUE - STAGE 2**

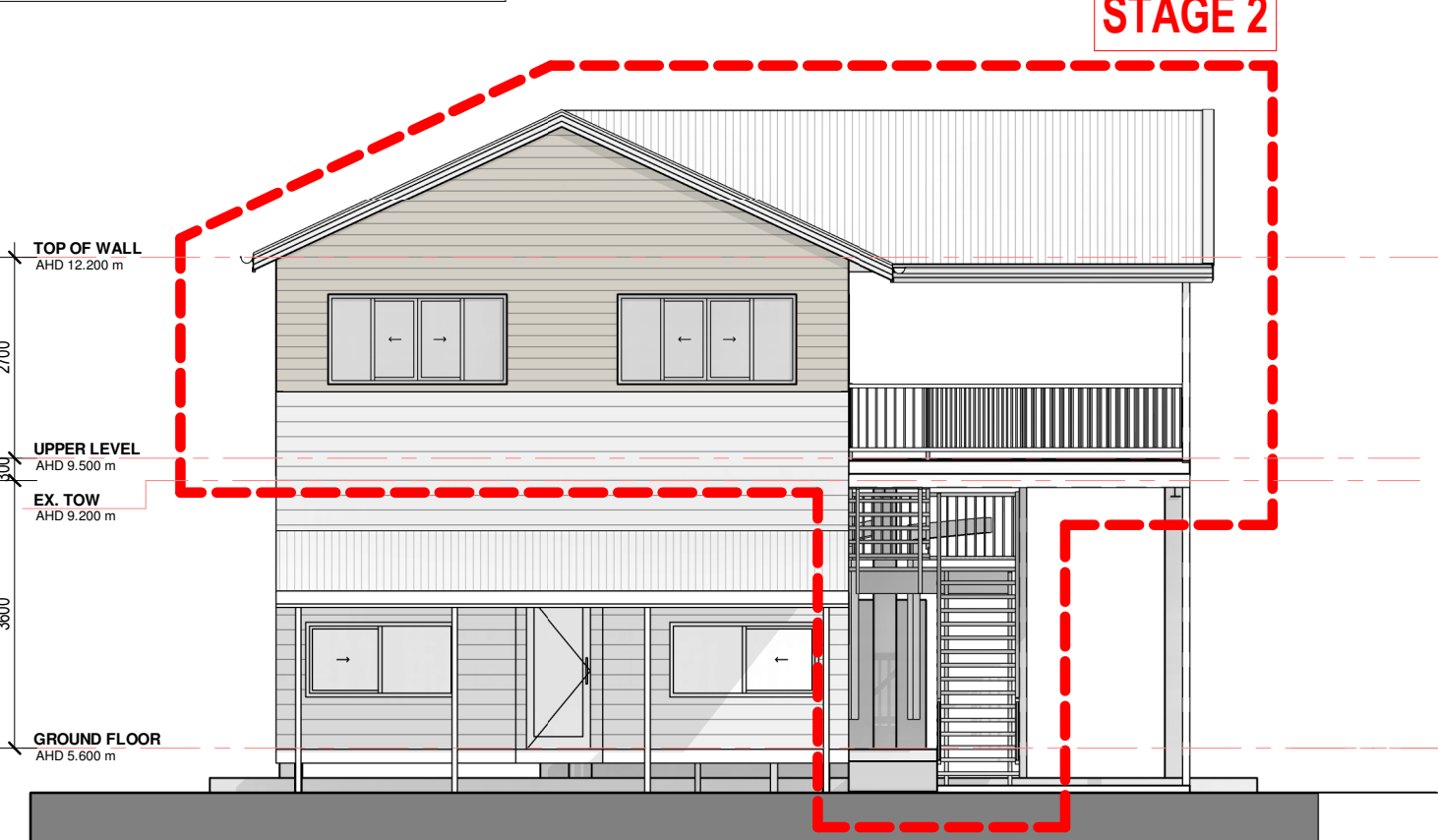
**NOTES:**

1. EYEBROW FLASHINGS TO BE INSTALLED ABOVE THE HEADS OF ALL EXPOSED WINDOW OPENINGS.
2. STAIRS CONSTRUCTION TO COMPLY WITH NCC VOL. 1, PART D3D14 FOR THE COMPOSITION OF THE STRINGERS, TREAD TYPES, GOINGS AND RISERS.
3. SLIP RESISTANCE REQUIREMENTS FOR STAIR TREADS IN REFERENCE TO NCC VOL. 1, TABLE D3D15 SLIP-RESISTANCE CLASSIFICATION.
4. BALUSTRADE BE CONSTRUCTED IN ACCORDANCE WITH NCC 2022, PART D3D17. STRUCTURAL DESIGN IN ACCORDANCE WITH AS1107.1
5. FALL PROTECTION ON WINDOWS TO BE IN ACCORDANCE WITH NCC REQUIREMENTS PART D3D29.
6. ROOFING TO BE INSTALLED TO PREVENT WATER PENETRATION INTO THE BUILDING STRUCTURE. (NCC VOL. 2 PART 7.2).

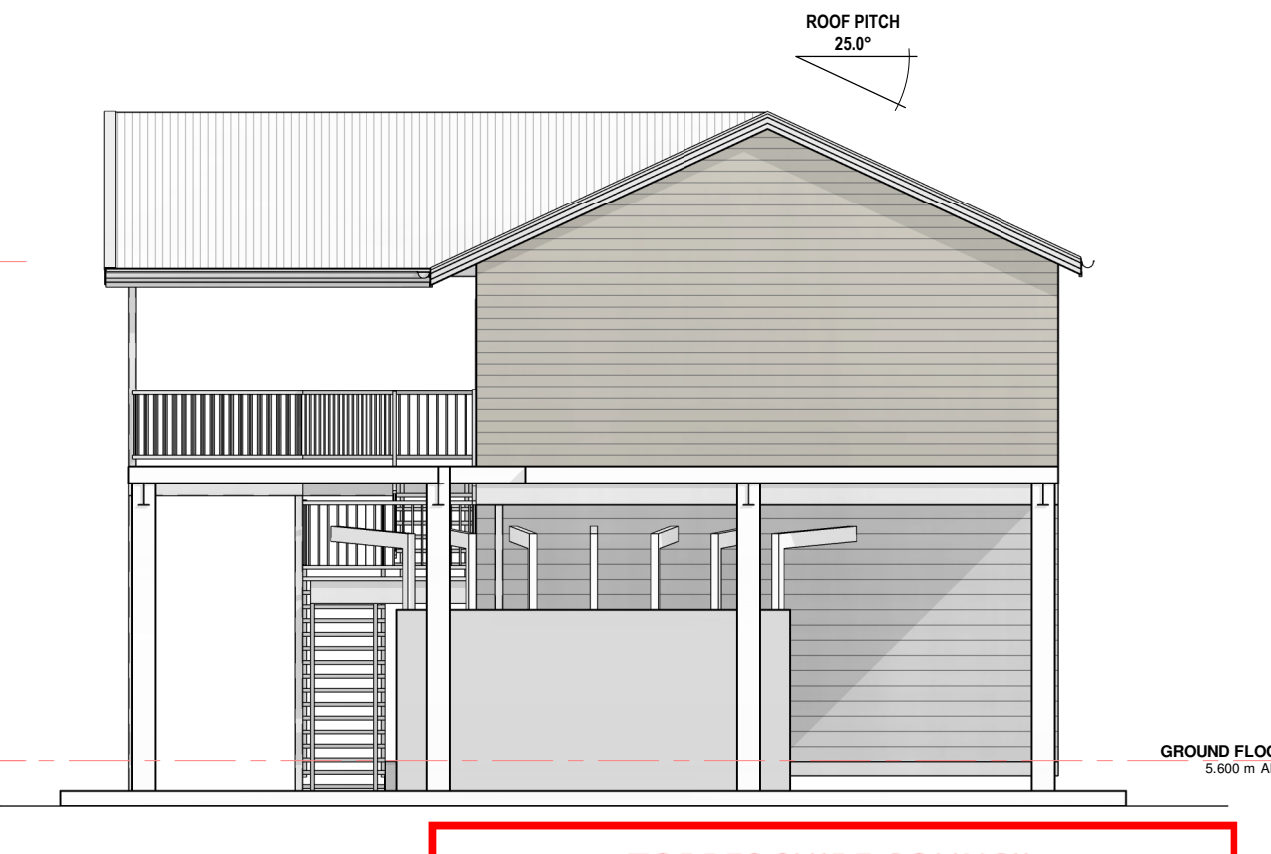
**NON-COMBUSTIBLE ELEMENTS:**

EXTERNAL WALLS AND ANCILLARY BUILDING ELEMENTS (AWNINGS / WINDOW HOODS, BALUSTRADE, AND SCREENS) TO BE CONSTRUCTED FROM NON-COMBUSTIBLE MATERIALS.

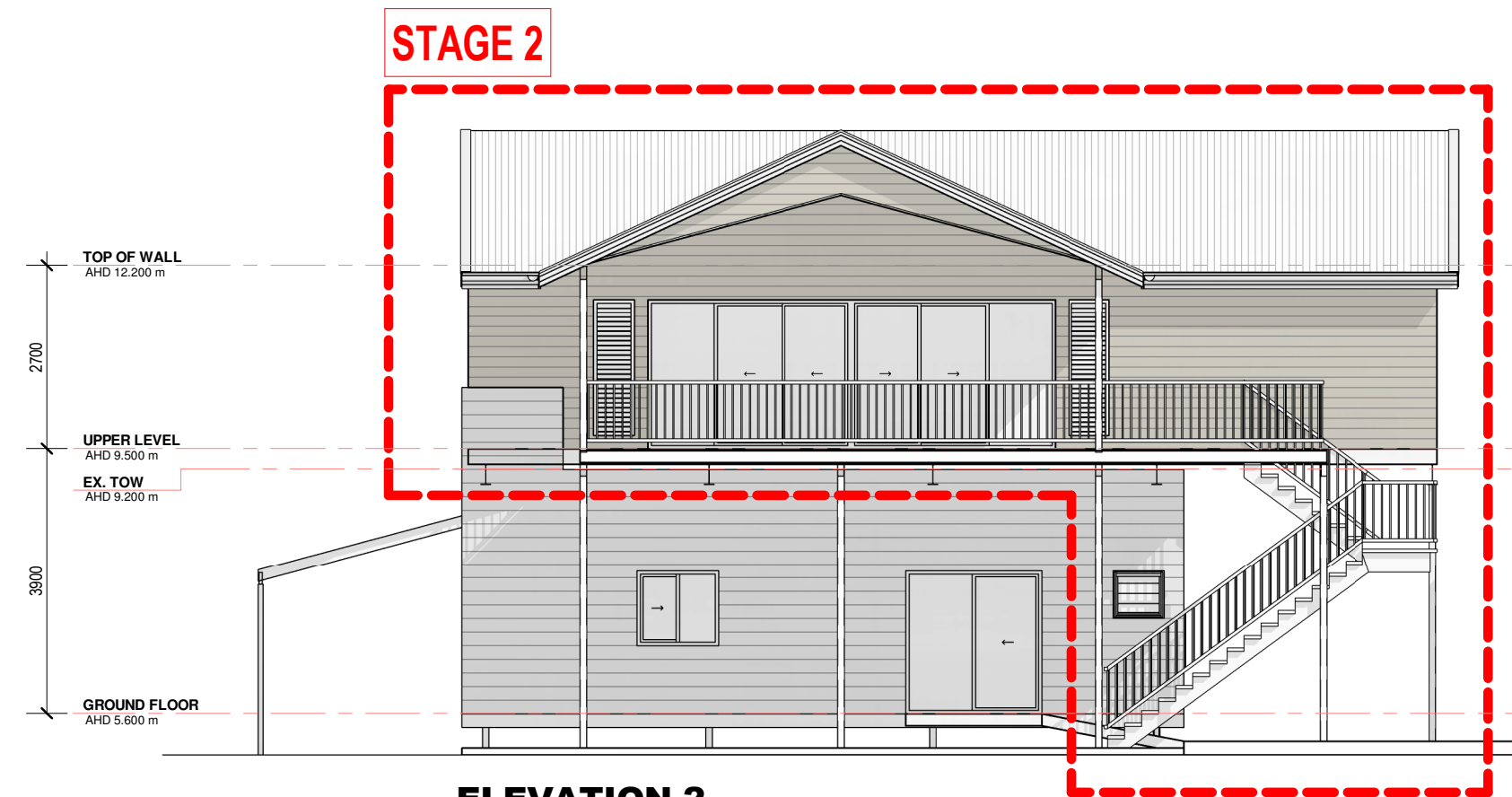
**ROOF: PITCH 25° / OVERHANG 600mm**



**ELEVATION 1**  
SCALE 1 : 100



**ELEVATION 3**  
SCALE 1 : 100



**ELEVATION 2**  
SCALE 1 : 100

**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED  
APPROVED PLAN**

**Development Application:** Minor Change to Development Permit for Material Change of Use— Dwelling Unit and Undefined Land Use (Cultural Activities)

**Lot details:** Lot 1 RP716988

Referred to in Council's Decision Notice

**Approval Date:** 21 April 2026  
**Application Number:** IDAS 24/02

**ASSESSMENT ISSUE - STAGE 2**

**PRINT IN COLOUR (A3)**

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
3. DO NOT SCALE FROM DRAWINGS.  
4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
DRAWING IS COPYRIGHT TO NEVELE ARCHITECTS© AND MUST NOT BE ALTERED OR REPLICATED.

**PROPOSED ADDITIONS**  
**ISLAND STARS**  
42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**  
ABN 31 639 960 704 | Reg No. 5977  
m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
a shop 5, 116 -118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)
5	21/01/2026	ASSESSMENT ISSUE C (STAGE 2)

<b>DRAWN BY:</b>	<b>CD</b>	<b>JOB No:</b>
<b>SCALE:</b>	<b>1 : 100</b>	<b>11-1702</b>
<b>START DATE:</b>	<b>OCTOBER 2023</b>	<b>SHEET No:</b>
<b>REVISION DATE:</b>	21/01/2026	<b>SK06</b>

<b>REV No:</b>	<b>5</b>
----------------	----------

## NOTICE ABOUT DECISION – STATEMENT OF REASONS

This Notice is prepared in accordance with s63(5) and s83(9) of the Planning Act 2016 to provide information about a decision that has been made in relation to a development application. The purpose of the Notice is to enable a public understanding of the reasons for the planning decision, specifically having regard to:

- the relevant parts of the Planning Scheme and Assessment Benchmarks against which the application was assessed; and
- any other information, documents or other material Council was either required to, or able to, consider in its assessment.

All terms used in this Notice have the meanings given them in the Planning Act 2016 or otherwise their ordinary meaning.

### APPLICATION DETAILS

---

Application No:	IDAS24/02
Applicant:	Joey Josia Laifoo & Melissa Leanne Crump c/ Urban Sync
Proposal:	Minor Change to Development Permit - Material Change of Use
Description of the Development:	Dwelling Unit and Undefined Land Use (Cultural Activities)
Street Address:	42 Douglas Street, Thursday Island
Real Property Description:	Lot 1 RP716988
Planning Scheme:	Torres Shire Council Planning Scheme 2022 (Version 1)

### DECISION DETAILS

---

Type of Decision:	Approval with Conditions
Type of Approval:	Minor Change to Development Permit for Material Change of Use – Dwelling Unit and Undefined Land Use (Cultural Activities)
Date of Decision:	21 April 2026

### ASSESSMENT BENCHMARKS

---

The following Assessment Benchmarks applied to the development from the following Categorising Instruments:

#### **Categorising Instrument (Planning Regulation 2017)**

This application did not trigger any matters prescribed by the regulation

#### **Categorising Instrument (State Planning Policy - July 2017)**

#### **Local Categorising Instrument (Torres Shire Council Planning Scheme 2022):**

#### **Local Categorising Instrument (Variation Approval)**

- Not applicable.

## **Local Categorising Instrument (Temporary Local Planning Instrument)**

- Not applicable.

## **PUBLIC NOTIFICATION**

---

Not applicable – no part of the application required public notification.

## **REASONS FOR THE DECISION**

---

The application is **approved** on the following grounds:

- (a) The proposed change is minor, does not trigger additional referrals and does not result in any additional areas of non-compliance with the relevant assessment benchmarks under the *Torres Shire Planning Scheme 2022*.

## **REASONS FOR APPROVAL DESPITE NON-COMPLIANCE WITH ASSESSMENT BENCHMARKS**

---

Not applicable.

## **ADDITIONAL RELEVANT MATTERS FOR IMPACT ASSESSMENT**

---

Not applicable.

## **OTHER MATTERS PRESCRIBED BY THE PLANNING REGULATION 2017**

---

Not applicable.

## **OTHER DETAILS**

---

If you wish to obtain more information about Council's decision, please refer to Council's webpage at <https://www.torres.qld.gov.au/development-applications-1>

## **APPEAL RIGHTS**

*(Planning Act 2016 & Planning Regulation 2017)*

Attached under separate cover (this page has been intentionally left blank)