



I hereby give notice that an Ordinary Meeting of Council will be held on:

**Date:** Tuesday, 17 March 2026  
**Time:** 9.00am  
**Location:** Torres Shire Council Office  
68 Douglas Street - Thursday Island

## **AGENDA AND BUSINESS PAPERS**

**Ordinary Council Meeting**

**17 March 2026**

**Mary Bani**  
Chief Executive Officer

**ORDER OF BUSINESS**

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**AGENDA CONTENTS****ATTENDANCE****MEETING OPENED****APOLOGIES****ACKNOWLEDGEMENT OF COUNTRY**

*On behalf of all Councillors, the Mayor acknowledged the Kaurareg people, Traditional Custodians of the land on which we meet today, and paid respects to their Elders past, present and emerging.*

**CONDOLENCES**

*A minute's silence will be observed as a mark of respect in memory of a deceased person or persons of our community and/or area of the Torres Strait.*

**DECLARATIONS OF INTEREST****CONFIRMATION OF MINUTES**

*Ordinary Meeting – 17 February 2026*

**BUSINESS ARISING****NOTIFIED MOTIONS**

*Nil*

**COUNCILLORS REPORTS****EXECUTIVE SERVICES REPORTS****LATE ITEMS**

*Nil*

**CONFIDENTIAL REPORTS****GENERAL BUSINESS**

**8.1 Confirmation of Minutes Ordinary Meeting 17 February 2026**

**File Number** BSC/Governance/ Reporting/ Executive Services Report/ 2026  
**Author:** Mary Bani, Chief Executive Officer  
**Authoriser:** Mary Bani, Chief Executive Officer  
**Attachments:** Minutes Ordinary Council Meeting 17 February 2026

**RECOMMENDATION**

That the minutes of the Ordinary Council Meeting held on 17 February 2026 be confirmed.

**9.1 Deputation Sandie Edwards, CEO Rebel Marine**

**File Number** BSC/Governance/ Reporting/ Executive Services Report/ 2026  
**Author:** Mary Bani, Chief Executive Officer  
**Authoriser:** Mary Bani, Chief Executive Officer  
**Attachments:** Presentation: Deputation Sandie Edwards

**9.2 Deputation Cameron McKenna, Managing Director Attentis Technology**

**File Number** BSC/Governance/ Reporting/ Executive Services Report/ 2026  
**Author:** Mary Bani, Chief Executive Officer  
**Authoriser:** Mary Bani, Chief Executive Officer  
**Attachments:** Presentation: Community Coast Watch Program

## 11.1 Councillor's Monthly Reports

<b>File Number</b>	<b>BSC/Governance/Reporting/Executive Services Report/2026</b>
<b>Author:</b>	<b>Mary Bani, Chief Executive Officer</b>
<b>Authoriser:</b>	<b>Mary Bani, Chief Executive Officer</b>
<b>Attachments:</b>	<b>Cr. Elsie Seriat – Monthly Report</b>

### SUMMARY

Councillors' monthly activity reports.

### BACKGROUND/HISTORY

Each month the Councillors report on their external activities. An endorsement of the report is an endorsement of the attended and future activities. Not all activities will be listed in advance due to time constraints. Councillors who are unable to provide a written report will have the opportunity to provide verbal updates at the Ordinary Council Meeting.

### LINK TO CORPORATE PLAN

#### *Our Community*

##### **1.5 Our Reputation for Integrity and Services (PROVIDE)**

A well-informed community with a great awareness of Council's achievements.

#### *Our People*

##### **2.4 Our Organisational Alignment and Performance Planning (PROVIDE)**

Council delivered strategic outcomes and is resilient and responsive to change.

#### *Our Business*

##### **3.3 Our Governance (LEAD)**

Council maintain effective governance processes

- Maintain best practice financial and risk management practices
- Maintain policies, procedures, frameworks and registers
  - Maintain and meet audit requirements.

### CONSULTATION

As per Mayoral Report.

### LEGAL IMPLICATIONS

Nil

### POLICY IMPLICATIONS

Nil

### FINANCIAL AND RESOURCE IMPLICATIONS (BUDGETARY)

Approved Operational Budget

### RECOMMENDATION

That the activities contained in the Mayoral monthly report be endorsed by Council.

## 12.1 Chief Executive Officer's Monthly Report

<b>File Number</b>	<b>BSC/Governance/Reporting/Executive Services Report/2026</b>
<b>Author:</b>	<b>Mary Bani, Chief Executive Officer</b>
<b>Authoriser:</b>	<b>Mary Bani, Chief Executive Officer</b>
<b>Attachments:</b>	<b>CEO Monthly Report</b>

### SUMMARY

Chief Executive Officer's monthly report.

### BACKGROUND/HISTORY

Each month the Chief Executive Office reports on her external activities. An endorsement of the report is an endorsement of the attended and future activities. Not all activities will be listed in advance due to time constraints.

### LINK TO CORPORATE PLAN

#### *Our Community*

##### **1.5 Our Reputation for Integrity and Services (PROVIDE)**

A well-informed community with a great awareness of Council's achievements.  
Develop and implement a communication strategy.

#### *Our People*

##### **2.4 Our Organisational Alignment and Performance Planning (PROVIDE)**

Council delivered strategic outcomes and is resilient and responsive to change.

#### *Our Business*

##### **3.3 Our Governance (LEAD)**

Council maintain effective governance processes

- Maintain best practice financial and risk management practices
- Maintain policies, procedures, frameworks and registers
  - Maintain and meet audit requirements.

### CONSULTATION

Various groups and community members as indicated in the attached.

### LEGAL IMPLICATIONS

Nil

### POLICY IMPLICATIONS

Nil

### FINANCIAL AND RESOURCE IMPLICATIONS (BUDGETARY)

As per approved Operational Budget

### RECOMMENDATION

That the activities contained in the Chief Executive Officer's monthly report be endorsed by Council.

## 12.2 Corporate and Community Services – Financial Report

<b>File Number</b>	<b>Corporate and Community Services</b>
<b>Author:</b>	<b>Director Corporate and Community Services</b>
<b>Authoriser:</b>	<b>Mary Bani, Chief Executive Officer</b>
<b>Items:</b>	<b>Financial Statements – February 2026</b>
	<b>1. Cash Position</b>
	<b>2. Income &amp; Expenditure-Airport</b>
	<b>3. Income &amp; Expenditure-All of Council</b>
	<b>4. Revenue Graph - Actuals vs Budget</b>
	<b>5. Expenses Graph – Actuals vs Budget</b>
	<b>6. Statement of Financial Position</b>

### SUMMARY

Presentation of the financial reports for the month of February 2026 as required under Section 204 of the *Local Government Regulation 2012*.

This report is presented for noting. The February 2026 actual operating result shows an operating deficit of \$1.3 million, compared with the year-to-date (YTD) budgeted deficit of \$4.4 million. The slightly improved position is primarily due to fees and charges ahead of budget by \$1.3 million, second half of the rates and charges have been issued and underspend in operating expenses by \$650,093.

#### **Attachment 1 - Cash Position**

As at 28 February 2026, Council's net cash on hand was \$27.4 million, a slight increase from \$27.0 million in the previous month. Of this balance, \$26.3 million is held as restricted cash, reserved for specific purposes including unspent grants, internally restricted funds, employee entitlements and provision for next month's wages and creditor payments.

#### **Attachment 2 - Airport Financials**

Year-to-date airport revenue totalled \$5,916,529, exceeding the YTD budget by \$1,219,396. Expenses and cash outflows for the same period amounted to \$3,652,129 which includes a \$1.2 million cash investment added to the QTC investment portfolio.

The QTC investment balance at the end of February 2026 was \$6.4 million.

#### **Attachments 3, 4 & 5 - Whole of Council Financials, Revenue and Expenses Graphs**

The YTD net surplus, inclusive of capital grants, was \$2.9 million, compared with the YTD budgeted surplus of \$1.8 million.

Total operating revenue YTD is \$21.5 million, compared with the YTD budget of \$19.0 million. Increase in revenue is mainly due to the rates and charges have been issued for the second half of the financial year.

Total operating expenses YTD were \$22.8 million, currently below the YTD budget by \$650,093. The underspend is mainly due to timing, being only 28 days in the calendar month.

### **Capital Expenditure**

As at February 2026, capital expenditure spent totalled \$4.4 million, against the full year capital budget of \$24.7 million.

### **LINK TO CORPORATE PLAN**

#### ***Our Business:***

#### **3.3. Our Governance (LEAD)**

Council maintain effective governance processes

- Maintain best practice financial and risk management practices;
- Maintain policies, procedures, frameworks and register;
- Maintain and meet audit requirements.

#### ***Our Future:***

#### **4.1. Our Revenue Generation**

Provide a sustainable Community

- Research and build a long-term approach to diversifying Council's revenue streams to support strategic planning imperatives and reduce reliance of rates income;
- Research, plan and implement an approach to securing funding for key elements of Council's accountabilities to ensure sustainability of service provision and asset maintenance.

### **CONSULTATION**

- Executive Leadership Team
- Managers and relevant operational staff

### **LEGAL IMPLICATIONS (STATUTORY, BASIS, LEGAL RISKS)**

*Local Government Regulation 2012* Section 204, which states:

- (1) The local government must prepare a financial report
- (2) The chief executive officer must present the financial report –
  - a. If the local government meets less frequently than monthly – at each meeting of the local government; or
  - b. Otherwise – at a meeting of the local government once a month.
- (3) The financial report must state the progress that has been made in relation to the local government's budget for the period of the financial year up to a day as near as practicable to the end of the month before the meeting is held.

**POLICY IMPLICATIONS**

The following Council policies are relevant to the financial statements.

- Investment Policy
- Debt Policy
- Revenue Policy
- Procurement Policy

**FINANCIAL AND RESOURCE IMPLICATIONS (BUDGETARY)**

The February 2026 actual operating result shows an operating deficit of \$1.3 million, compared with the year-to-date (YTD) budgeted deficit of \$4.4 million. The improved position is primarily due to fees and charges ahead of budget by \$1.3 million, the second half of the full year rates and charges have been issued and underspend in operating expenses by \$650,093.

As at 28 February 2026, Council's net cash on hand was \$27.4 million, a slight increase from \$27.0 million in the previous month. Of this balance, \$26.3 million is held as restricted cash, reserved for specific purposes including unspent grants, internally restricted funds, employee entitlements and provision for next month's wages and creditor payments.

**RECOMMENDATION**

That Council:

- Note the Financial Report for the period ended February 2026 as presented.
- Note the attachments for the period ended February 2026 listed as follows:
  1. Cash Position February 2026
  2. Income and Expenditure Airport February 2026
  3. Income and Expenditure all of Council February 2026
  4. Revenue Graph Actual vs Budget February 2026
  5. Expenses Graph Actual vs Budget February 2026
  6. Statement of Financial Position February 2026

## 12.3 Corporate and Community Services Report

File Number            BSC/Governance/ Reporting/Executive Services Report/2026  
 Author:                Karren MacClure, Director Corporate and Community Services  
 Authoriser:           Mary Bani, Chief Executive Officer  
 Attachments:        Nil

### SUMMARY

The purpose of this report is to inform council of key data relating to the Corporate and Community Services business unit.

- Items:                1. Debtors  
                          2. Facebook Performance  
                          3. Council Facility Hire  
                          4. Events  
                          5. Sports Complex

### 1. DEBTORS

#### Rates:

Rates Debt 2025-2026	Total Due	Current	Year 1	Year 2	Year 3	Year 4+	Interest	Paid in advance
February 2026	\$ 3,413,090	\$ 3,294,134	\$ 75,506	\$ 37,457	\$ 6,490	\$ 4,108	\$ 41,565	-\$ 46,170
January 2026	\$ 554,356	\$ 140,665	\$ 101,416	\$ 63,214	\$ 37,602	\$ 142,708	\$ 204,015	-\$ 135,264
December 2025	\$ 583,806	\$ 162,284	\$ 103,317	\$ 63,953	\$ 37,602	\$ 142,708	\$ 198,012	-\$ 124,070

Notes: (1) Rates issued 28th February 2026, due 30<sup>th</sup> March 2026. (2) prior year outstanding balances have been reduced during the month due to 6 properties with long term debt being cleared.

#### Sundry Debtors:

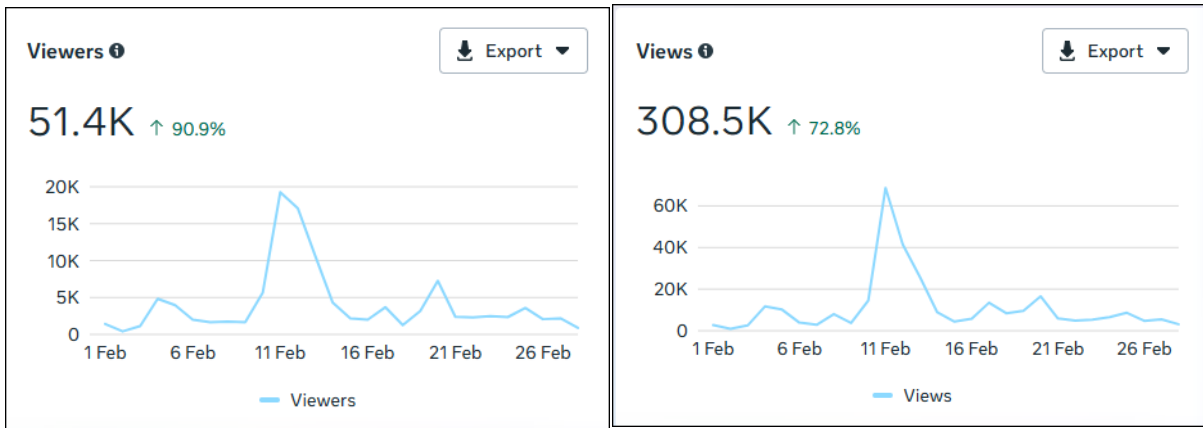
Sundry Debtor Balance as at:	Period 3	Period 2	Period 1	Current	Total
28-Feb-26	\$ 229,101	\$ 201,191	\$ 232,899	\$ 793,007	\$ 1,456,199
31-Jan-26	\$ 94,122	\$ 156,946	\$ 453,533	\$ 736,116	\$ 1,440,718
31-Dec-25	\$ 79,375	\$ 45,084	\$ 408,476	\$ 525,896	\$ 1,058,832

Notes: \$290k relates to timing of grant funding to be received effecting period 2 and 3 balances.

2. COUNCIL FACEBOOK PERFORMANCE

FEBRUARY 2026

Torres Shire Council Facebook continues to be a key tool to communicate with our community. The top number of views for the month of February related to the individual Spot Light posts showcasing each of our Australia Day Award winners.



Title	Date published	Views
 2026 Australia Day Award Spotlight CO... Photo • Torres Shire Council	11 February 18:04	34,885
 Australia Day Award Spotlight APPREC... Photo • Torres Shire Council	11 February 19:30	29,540
 Australia Day Award Spotlight THE CUL... Photo • Torres Shire Council	12 February 13:00	14,777
 Australia Day Award Spotlight APPREC... Photo • Torres Shire Council	11 February 13:04	19,899
 2026 Australia Day Award Spotlight YO... Photo • Torres Shire Council	13 February 13:00	16,194

### 3. COUNCIL FACILITY HIRE DATA

Torres Shire Council facilities have been well utilised by the community during February with TI Pool numbers increasing due to 4 weeks of school swimming lesson bookings and the stadium utilisation including 2 weeks of Volleyball/Basketball training and a full month of Community Fitness Program classes (6-week program – 5 classes per week).

#### 12 Months Data:

Facility	Mar-25	Apr-25	May-25	Jun-25	Jul-25	Aug-25	Sep-25	Oct-25	Nov-25	Dec-25	Jan-26	Feb-26
ANZAC Park	0	0	0	1	0	1	2	2	3	1	0	0
Ken Brown Oval	13	12	10	31	4	25	1	5	7	0	10	11
TI Pool	3	0	6	6	1	11	0	0		1	2	17
TI Stadium	3	7	10	18	11	12	3	5	18	9	2	20
Loban Road Hall	12	11	11	11	11	8	3	5	17	12	9	15
Tamwoy Hall	23	5	20	13	12	9	3	5	10	9	12	11
HI Stadium	0	1	0	1	1	0	0	1	4	2	0	5
HI Conf. Room	4	5	4	2	2	0	0	0		0	2	0
<b>Total</b>	<b>58</b>	<b>41</b>	<b>61</b>	<b>83</b>	<b>42</b>	<b>66</b>	<b>12</b>	<b>23</b>	<b>59</b>	<b>34</b>	<b>37</b>	<b>79</b>

### 4. EVENTS

#### 2026 UPCOMING EVENTS

Date	Event
1-Mar-26	Clean up Australia Day (postponed due to weather)
21-Feb-26	Cruise Ship - Viking Sky
10-Mar-26	Cruise Ship - Crystal Serenity
8-Apr-26	Cruise Ship - Viking Orian
25-Apr-26	Anzac Day (Green Hill 5:30am, Anzac Park 9am)
10July 26	NAIDOC Awards
15 Aug26	OBON Ceremony
24-Aug-26	Cruise Ship -Le Jacques Cartier
18-Sep-26	Multicultura Festival
10-Nov-26	Cruise Ship -Riviera
13-Nov-26	Cruise Ship - Viking Venus
2-Dec-26	Cruise Ship - Viking Orion
16-Dec-26	Cruise Ship - Le Soleal
Dec26	Christmas Extavaganza - TI
Dec 26	Christmas Carols - HI
Dec26	Christmas Lights Competition
31-Dec-26	New Years Eve Fireworks

### 5. SPORTS COMPLEX

Alex Blanco commenced as the Sports Complex's Manager during the month.

## Entry Numbers

Gym usage continues to increase month on month as a direct response to the Gym refurbishment project last year. High stadium numbers during February reflect the strong community attendance to the 6-week fitness program and strong pool entry numbers reflect the use of pool complex for birthday parties and the return of school boarders utilising the facility.

Month	Gym #	Stadium #	Pool #	Total #
Feb-26	1,133	142	1,671	<b>2,946</b>
Jan-26	952	53	1,024	<b>2,029</b>
Dec-25	827	93	1,056	<b>1,976</b>
Nov-25	629	143	1,690	<b>2,462</b>
Oct-25	604	124	1,652	<b>2,380</b>
Sep-25	512	206	1,628	<b>2,346</b>

## February Initiatives

- Community Fitness Program – 6-week program commencing 2<sup>nd</sup> February 2026  
Provided free to community through the Torres Strait Community Sport and Recreation Program, Torres Shire Council partnered with Strait Fitness to deliver a free 4-week fitness program at the TI Sports Complex catering for all levels of fitness (5 classes a week mix of morning and afternoon). Due to popular demand this program was extended to a 6-week program finishing 13<sup>th</sup> March 2026.
- Cert III and Cert IV Accreditation training – held 8<sup>th</sup>-20<sup>th</sup> February 2026  
Provided free to community through the Torres Strait Community Sport and Recreation Program this intensive block training was delivered at the Thursday Island Sports Complex by Fit Education.



Trainer and participants of the Cert III and IV accreditation

**LINK TO CORPORATE PLAN*****Our People (PROVIDE):*****2.4. Our Organisation Alignment and Performance Planning**

- Council delivers strategic outcomes and is resilient and responsive to change

***Our Governance (LEAD):*****3.3. Council maintains effective governance processes**

- Maintain best practice financial and risk management practices
- Maintain policies, procedures, frameworks and register
  - Maintain and meet audit requirements.

**LEGAL IMPLICATIONS (STATUTORY, BASIS, LEGAL RISK)**

- Debt Recovery

**POLICY IMPLICATIONS**

- Procurement Policy
- Debt Policy

**CONSULTATION**

- Corporate & Community Services Managers & Staff

**FINANCIAL AND RESOURCE IMPLICATIONS (BUDGETARY)**

- As per approved operational budget
- Debt recovery

**RECOMMENDATION**

That Council note the Corporate and Community Services Report for February 2026 as presented.

## 12.4 Capital Works Program Report

<b>File Number</b>	<b>BSC/Governance/Reporting/Executive Services Report/2026</b>
<b>Author</b>	<b>Edward Kulpa, Director Projects, Planning &amp; Environment</b>
<b>Authoriser</b>	<b>Mary Bani, Chief Executive Officer</b>
<b>Attachments</b>	<b>Nil</b>

### SUMMARY

#### Project Report


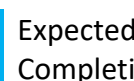
The report outlines progress of Council's Capital Works Program for March 2026. The following covers engineering and infrastructure capital works for the Torres Shire Council.

<b>Project Name</b>	<b>Funding Scheme</b>	<b>Budget (\$ ex GST)</b>	<b>Remaining Funds (\$ ex GST)</b>	<b>Comment</b>
TI Cycleway Stg 4	DTMR	\$ 2,067,883	\$ 576,622	Works Planned to start post-2026 wet season
HI Landfill Stg 2	TSRA, CMIG round 3 18/19	\$ 1,000,000	\$ 782,131	Seeking co-funding
HI Landfill Metal Shredder / Metal waste management	DLGRMA	\$ 2,699,400	\$ 895,426	SIMS Metal engaged to bale vehicle waste
Lion Lookout Heritage Trail WW2 walk	Dept Veteran Affairs (139,487), Qld Remembers (35,718)	\$ 175,205	\$ 93,599	Seeking quotes to undertake lookout repairs.
HI, TI, POW Island Roads	QRA	\$ 1,173,309	\$ 1,173,309	POW Island works on hold
HI, TI, POW Island Roads - Proj Management	QRA	\$ 192,619	\$ 17,079	underway
POW Island Waste Bins	Regional and Remote Recycling Modernisation Fund	\$ 115,000	\$ 115,000	Alternatives being sought
HI Airport Pavement replacement	ATSI-TIDS 2024-25	\$ 500,000	\$ 230,794	Helicopter pad pavement replacement starts Nov 2025

Quarantine Boat Ramp – Cook Espl	MSQ, LGGSP 2024-28	\$ 395,000	\$ -	Design contract awarded to Haskoning
Aplin Park Development	W4Q 2024-27	\$ 415,000	\$ 415,000	Project to be determined.
HI sport Complex Maintenance	LRCI Phase 4	\$ 156,288	\$ 119,893	Underway
Communications Towers	Council Internal Project	\$ 257,000	\$ 212,426	Ongoing
Loban Road Crossing @ Fire Station	QRA	\$ 527,202	\$ 499,202	To be awarded
Roads 2 Recovery 2024-29	Roads 2 Recovery 2024-29	\$ 1,375,339	\$ 1,375,339	To be started
Council Chambers roof Replacement	W4Q 2024-27	\$ 489,000	\$ 457,000	Tenders issued to market
TI Stadium sport court replacement	W4Q 2024-27	\$ 126,000	\$ 126,000	To be awarded
Torres Strait and Northern Peninsula Area Climate Resilience Officers	Department of Industry, Science and Resources	\$ 3,079,000	\$ 3,079,000	Positions scoped and to be advertised
TI and HI infrastructure Planning	Residential Activation fund	\$ 1,125,000	\$ 1,117,800	Tenders issued to market
Submarine line planning	Residential Activation fund	\$ 515,000	\$ 507,800	Tenders issued to market
Revision of torres Shire Council Planning Scheme	TSC SSF 2024-26 - Path 2 - Alloc 001435 - 002423	\$ 238,500	\$ 238,500	To be started, follows HI Housing Growth Master Plan
Housing Summit	TSC SSF 2024-26 - Path 1 - Alloc 001435 - 002423	\$ 100,000	\$ 23,010	Summit proposed for May 2026
TI Transfer Station Office & Amenities	Council Internal Project	\$ 140,909	\$ 160	Ongoing
TI transfer station roof Repair	Council Internal Project	\$ 200,000	\$ 154,207	Ongoing

Cox Road Jump Up	QRA	\$ 5,644,685	\$ 5,644,685	On Hold
Victoria Parade Pavement	QRA	\$ 3,181,711	\$ 3,127,711	tender documentation being prepared
Erub Court Pavement	QRA	\$ 987,427	\$ 961,427	tender documentation being prepared
Milman Pavement	QRA	\$ 1,239,354	\$ 1,203,354	tender documentation being prepared
Aubrey Parade Seawall	QRA	\$ 570,160	\$ 536,160	tender documentation being prepared
Transport Asset Management Plan	Council Internal Project	\$ 15,000	\$ -	Contractor Engaged
Infrastructure Valuation - Water	Council Internal Project	\$ 20,005	\$ -	Contractor Engaged
Infrastructure Valuation - Sewer	Council Internal Project	\$ 20,005	\$ -	Contractor Engaged

Project Name	Jan-26	Feb-26	Mar-26	Apr-26	May-26	Jun-26
TI Cycleway Stg 4						
HI Landfill Stg 2						
HI Landfill Metal Shredder / Metal waste management						
Lion Lookout Heritage Trail WW2 walk						
POW Island Roads						
POW Island Roads - Proj Management						
POW Island Waste Bins						
HI Airport Pavement replacement						
Quarantine Boat Ramp – Cook Espl						
Aplin Park Development						
HI sport Complex Maintenance						
Communications Towers						
Loban Road Crossing @ Fire Station						
Roads 2 Recovery 2024-29						
Council Chambers roof Replacement						
TI Stadium sport court replacement						
Torres Strait and Northern Peninsula Area Climate Resilience Officers						
TI and HI infrastructure Planning						
Submarine line planning						
Revision of torres Shire Council Planning Scheme						
Housing Summit						
TI Transfer Station Office & Amenities						
TI transfer Station roof Repair						
Cox Road Jump Up						
Victoria Parade Pavement						
Erub Court Pavement						
Milman Pavement						
Aubrey Parade Seawall						
Transport Asset Management Plan						
Infrastructure Valuation - Water						
Infrastructure Valuation - Sewer						

 Expected  
 Completion Month

## **LINK TO CORPORATE PLAN**

### ***Our People (PROVIDE)***

#### **2.4 Our Organisation Alignment and Performance Planning**

- Council delivers strategic outcomes and is resilient and responsive to change

### ***Our Governance (LEAD)***

#### **3.3 Council maintains effective governance processes**

- Maintains best practice financial and risk management procedures
- Maintains policies, procedures, frameworks and registers;
  - Maintain and meet audit requirements

## **CONSULTATION**

Executive Leadership Team

Stakeholder Funding Bodies

## **LEGAL IMPLICATIONS**

Nil

## **POLICY IMPLICATIONS**

Nil

## **FINANCIAL AND RESOURCE IMPLICATIONS (BUDGETARY)**

As per approved Operational Budget

## **RECOMMENDATION**

That Council receives and notes the Capital Works Program Report for February 2026.

## 12.5 Minor Change to Development Permit for Material Change of Use Dwelling Unit and Undefined Land Use (Cultural Activities) –IDAS24/02 – Joey Josia Laifoo & Melissa Leanne Crump c/ Urban Sync – 42 Douglas Street, Thursday Island

<b>File Name</b>	<b>BSC/Governance/Reporting/Executive Services Report/2026</b>
<b>Author</b>	<b>Reel Planning Pty Ltd</b>
<b>Authoriser</b>	<b>Mary Bani, Chief Executive Officer</b>
<b>Attachments</b>	<b>A - Proposed amended plan of development (stage 1) B – Proposed amended plan of development (stage 2)</b>

### SUMMARY

PROPERTY DETAILS	
<b>Site address</b>	42 Douglas Street, Thursday Island
<b>RPD</b>	Lot 1 RP716988
<b>Landowner</b>	Joey Josia Laifoo & Melissa Leanne Crump
<b>Existing Use of Land</b>	Food and Drink Outlet and Shop (and ancillary workshops)
ORIGINAL APPROVAL DETAILS	
<b>Application No.</b>	IDAS24/02
<b>Applicant</b>	Joey Josia Laifoo & Melissa Leanne Crump c/ Urban Sync
<b>Approval Description</b>	Development Permit for a Material Change of Use – Dwelling Unit and Undefined Land Use (Cultural Activities)
<b>Date of Original Decision</b>	16 July 2024
<b>Date of Original Decision Notice</b>	18 July 2024
CHANGE APPLICATION DETAILS	
<b>Application No.</b>	IDAS24/02
<b>Applicant</b>	Joey Josia Laifoo & Melissa Leanne Crump c/ Urban Sync
<b>Application Description</b>	Development Permit for Material Change of Use – Dwelling Unit and Undefined Land Use (Cultural Activities)
<b>Application Lodged</b>	28 January 2026
<b>Decision Due Date</b>	20 March 2026 (applicant agreed extension)
<b>Council Meeting</b>	17 March 2026

### EXECUTIVE SUMMARY

This application seeks Council approval for a minor change to the development permit under section 78 of the *Planning Act 2016*.

This application seeks to amend the approved plans to reflect changes to how development will be undertaken on the site.

There are two current development approvals over the site. The first approval, (file reference IDAS24/02) was for a dwelling unit above the existing shop and an undercover entertainment structure to the rear of the site. The second approval (file reference IDAS25/20) was for a four (4) bedroom unit, approved as rooming accommodation above the entertainment structure.

The entire development across both approvals was initially planned to be undertaken at the same time. The applicant has indicated that due to funding the undercover entertainment area (approved under IDAS24/02) and the four (4) bedroom rooming accommodation above the structure (approved under IDAS25/20) will be constructed first and the dwelling unit (approved under IDAS24/02) will be constructed at a later date.

The change results in changes to both approvals. A separate report will be presented to Council seeking a negotiated decision notice for the second approval for the rooming accommodation.

To facilitate the proposed timing of construction this report recommends a minor change of decision notice is issued, amending the approved plans, condition 2.

### **RECOMMENDATION A – DECISION NOTICE**

That Torres Shire Council approve the Change Application (Minor) for a Development Permit for Material Change of Use– Dwelling Unit and Undefined Land Use (Cultural Activities) on land located at 42 Douglas Street, Thursday Island, formally described as Lot 1 RP716988, subject to the following conditions:

**(A) That condition 2.1 be amended as follows;**

**2.0 Approved Plans and Documents**

2.1 The approved development must be completed and maintained At all times generally in accordance with the approved plans and documents, except were amended by the conditions of this permit.

Drawing No.	Document Name	Revision	Date	Drawn by
SK01	Cover Sheet	2	20/12/2023	Nevele
SK02	Perspective Views	2	20/12/2023	Nevele
SK03	Site Plan	2	20/12/2023	Nevele
SK04	Ground Floor Plan	2	20/12/2023	Nevele
SK05	First Floor Plan	2	20/12/2023	Nevele

<u>SK06</u>	<u>Roof Plan</u>	<u>2</u>	<u>20/12/2023</u>	<u>Nevele</u>
<u>SK07</u>	<u>Elevations</u>	<u>2</u>	<u>20/12/2023</u>	<u>Nevele</u>
<u>SK08</u>	<u>Section A-A</u>	<u>2</u>	<u>20/12/2023</u>	<u>Nevele</u>
<b><u>Stage 1</u></b>				
<u>SK01</u>	<u>Cover Sheet</u>	<u>4</u>	<u>21/01/2026</u>	<u>Nevele</u>
<u>SK03</u>	<u>Ground Floor Plan</u>	<u>4</u>	<u>20/12/2023</u>	<u>Nevele</u>
<u>SK06</u>	<u>Elevations</u>	<u>4</u>	<u>21/01/2026</u>	<u>Nevele</u>
<b><u>Stage 2</u></b>				
<u>SK01</u>	<u>Cover Sheet</u>	<u>5</u>	<u>21/01/2026</u>	<u>Nevele</u>
<u>SK03</u>	<u>Ground Floor Plan</u>	<u>2</u>	<u>20/12/2023</u>	<u>Nevele</u>
<u>SK04</u>	<u>First Floor Plan</u>	<u>2</u>	<u>20/12/2023</u>	<u>Nevele</u>
<u>SK05</u>	<u>Roof Plan</u>	<u>2</u>	<u>20/12/2023</u>	<u>Nevele</u>
<u>SK06</u>	<u>Elevations</u>	<u>2</u>	<u>20/12/2023</u>	<u>Nevele</u>

**(B) All other conditions remain as per decision notice dated 18 July 2024.**

## **1.0 SITE AND SURROUNDING DESCRIPTION**

The subject site is located at the eastern end of Douglas Street, one lot removed from the corner. Surrounding development comprises a mix of commercial uses and adjoins the See Hop Trading supermarket to the west and north (rear) and commercial offices and rear dwelling unit to the east.

Existing development on the site comprises a single storey building, built to the front boundary with an awning over the footpath. There is an existing vehicle access driveway located along the eastern side boundary to a former carport which is currently used as an outdoor covered dining area. There is no onsite carparking available.

Douglas Street fronting the site is bitumen seal with formalised kerb and channel along the site frontage. The on street carparking is currently un-line marked due to bitumen reseal works

The site has access to water, sewer, electricity and telecommunication services. There are no easements burdening the site.



**FIGURE 1:** Subject Site

## 2.0 BACKGROUND

The existing use of the premises for a food and drink outlet, shop and ancillary workshops was subject to an Exemption Certificate issued on 18 July 2022 under section 46(3)(b) of the *Planning Act 2016* (File ref IDAS22/06). The material change of use triggered code assessable development due to the designation of the site in the coastal hazard overlay and the identification of the area as a local heritage place. The Exemption Certificate was issued as the effect of the development was deemed minor and inconsequential as the use was within an existing building, involved no building work and there was no evidence the building was a former pearl shed.

The food and drink outlet, shop and ancillary workshops have been operating from the site since 2022.

In July 2024 Council approved a development application for a three (3) bedroom dwelling unit above the existing shop and approval to formalise the cultural activities, including dance shows and workshops. A new roofed unenclosed structure for the entertainment activities was approved to the rear of the site (Council file reference IDAS24/02 Decision Notice dated 18 July 2024).

In September 2025 Council approved amendments to the approved plans reducing the roof pitch and overall height of the roofed structure and changes to the proposed dwelling unit deck (generally in accordance letter dated 30 September 2025).

The dwelling unit and roofed entertainment structure have not been constructed.

Council at its meeting held on 18 November 2025, approved subject to conditions an additional accommodation unit for staff comprising of a four (4) bedroom self-contained dwelling unit above the proposed covered entertainment structure (Council file reference IDAS25/20 Decision Notice dated 21 November 2025).

### **3.0 DESCRIPTION OF APPROVED USE**

A café (food and drink outlet) and shop operating as 'Laguw Titui' (Island Stars) currently operates from the existing building. Ancillary to the shop and café use, workshops and cultural activities are held within the building, undercover area extending along the eastern side of the building and temporary structures to the rear. Occasional events and functions are held within the building. Ancillary workshops and cultural activities may extend outside the café opening hours, up to 9.00 pm.

The approval was for a staged development for:

- (a) Stage 1 – construction of a roofed structure to the rear of the site providing an undercover entertainment area and formalisation of cultural activities comprising of dance shows, events and workshops; and
- (b) Stage 2 - first floor extension for a dwelling unit comprising three (3) bedrooms.

In association with the cultural events the existing kitchen on the ground floor was proposed to be extended by approximately 26.4m<sup>2</sup> and new toilets for customers.

### **4.0 DESCRIPTION OF PROPOSED AMENDMENT**

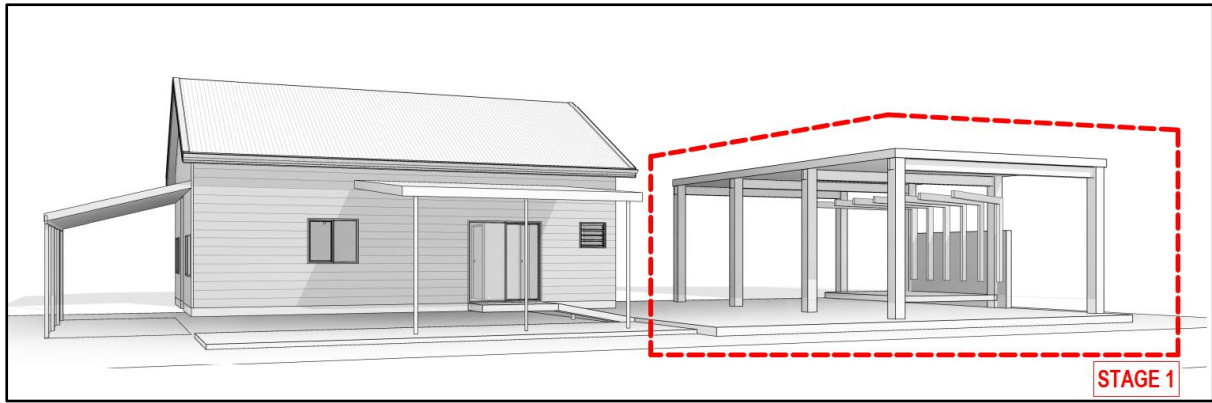
This application is seeking approval for changes to the approved plan of development, clearly identifying the two stages of the development under this approval.

- Stage 1 will involve the construction of the undercover entertainment structure; and
- Stage 2 will involve the construction of the dwelling unit above the existing shop.

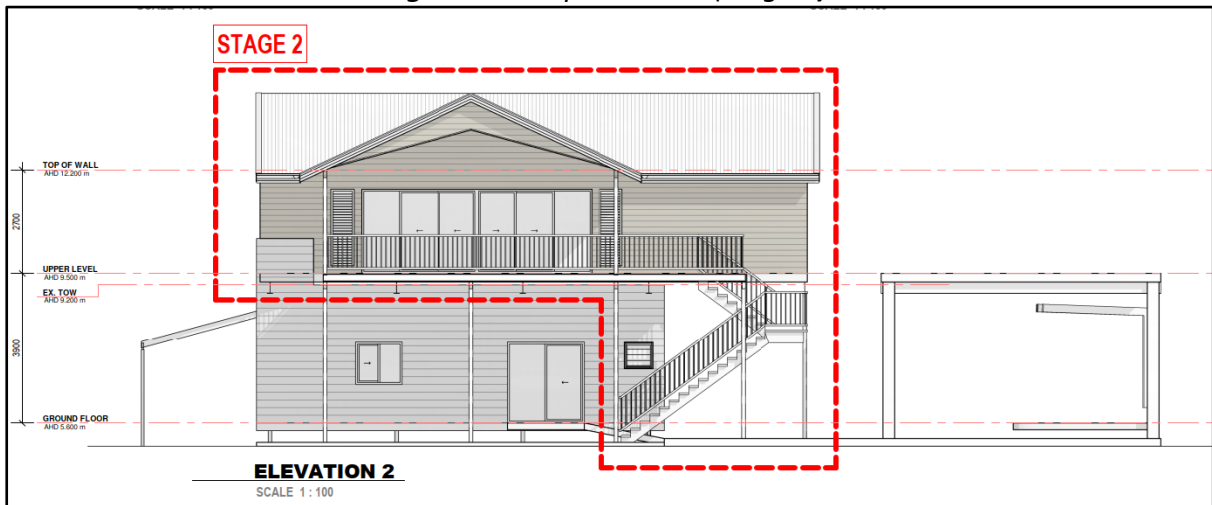
The proposed kitchen extension is no longer proposed and replaced with an 'undercroft' area. The location of the proposed external stairs to access the dwelling unit has been relocated and minor changes to the internal layout of the dwelling unit.

The applicant has indicated that the four (4) bedroom rooming accommodation unit above the entertainment structure (approved under a separate approval IDAS25/20) will be constructed as part of stage 1 of the overall development.

The proposed change will not affect the development to operate as intended.



**Figure 2 – Proposed Plan (stage 1)**



**Figure 3 – Proposed Plan (stage 2)**



**FIGURE 4 – Proposed plan overall development (including the approved rooming accommodation dwelling unit above existing shop under separate approval)**

**5.0 PLANNING ASSESSMENT**

A change application is made under section 78 of the *Planning Act 2016*. A minor change application must comply with the criteria for a minor change as defined under Schedule 2 of the *Planning Act 2016*. It is considered that the proposed change constitutes a minor change, as demonstrated in Table 1 and Table 2 below.

TABLE 1 – MINOR CHANGE CRITERIA

CRITERIA	RESPONSE
<i>(i) Does not result in substantially different development</i>	Refer to Table 2
<i>(ii) If the application, including the change, were made when the change is made – would not cause –</i>	See below (A) – (D)
<i>(A) The inclusion of prohibited development in the application; or</i>	Complies – The proposal would not result in prohibited development under Schedule 10 of the <i>Planning Regulation 2017</i> .
<i>(B) Referral to a referral agency, other than to the chief executive; or</i>	Complies - The development does not require referral to a referral agency under Schedule 10 of the <i>Planning Regulation 2017</i> .
<i>(C) Referral to a referral agency if there were no referral agencies for the development application; or</i>	Complies – The development does not require referral to a referral agency under Schedule 10 of the <i>Planning Regulation 2017</i> .
<i>(D) A referral agency to assess the application against, or have regard to, matters prescribed by regulation under section 55 (2), other than matters the referral agency must have assessed the application against, or have had regard to, when the application was made; or</i>	Not Applicable – See response to (B) and (C).
<i>(E) Public notification if public notification was not required for the development application</i>	Not Applicable public notification not required

TABLE 2 – CRITERIA FOR SUBSTANTIALLY DIFFERENT DEVELOPMENT

CRITERIA	RESPONSE
<i>(a) Involves a new use; or</i>	Complies – does not incorporate a new use
<i>(b) Results in the application applying to a new parcel of land; or</i>	Complies – the application relates to the same parcel of land.
<i>(c) Dramatically changes the built form in terms of scale, bulk and appearance; or</i>	Complies – will result in no significant change to the built form.

CRITERIA	RESPONSE
<b>(d)</b> <i>Changes the ability of the proposed development to operate as intended; or</i>	Complies – no change to the ability of the development to operate as intended.
<b>(e)</b> <i>Removes a component that is integral to the operation of the development; or</i>	Complies – No components integral to the approved use are proposed to be removed as part of the change application.
<b>(f)</b> <i>Significantly impacts on traffic flow and the transport network, such as increasing traffic to the site; or</i>	Complies –the proposal will not result in an increase in traffic to the site.
<b>(g)</b> <i>Introduces new impacts or increase the severity of known impacts; or</i>	Complies – the proposed change will result in a change to the location of the stairs to the dwelling unit. The change will not introduce new impacts.
<b>(h)</b> <i>Removes an incentive or offset component that would have balanced a negative impact of the development; or</i>	Complies – approval included no incentive or offsets.
<b>(i)</b> <i>Impacts on infrastructure provisions.</i>	Complies – no change.

In accordance with section 81(2) of the *Planning Act* the matters outlined in Table 3 must be considered in the assessment of the change application.

TABLE 3 – MATTERS TO CONSIDER FOR CHANGE APPLICATION

MATTER TO CONSIDER	RESPONSE
<b>2(a).</b> <i>The information the applicant included with the application; and</i>	The assessment has considered all information the applicant has provided regarding the change application.
<b>2(b).</b> <i>If the responsible entity is the assessment manager – any properly made submissions about the development application or another change application that was approved; and</i>	The original application was Impact Assessable and subject to public notification. During the notification period no submissions were received.
<b>2(c).</b> <i>Any pre-request response notice or response notice given in relation to the change application; and</i>	No pre-request response notice or response notice given in relation to the change application.

MATTER TO CONSIDER	RESPONSE
<p><i>2(d). If the responsible entity is, under section 78(3) (ba) or (bb), the Minister – all matters the Minister would or may assess against or have regard to, if the change application were a development application called in by the Minister; and</i></p>	<p>The responsible entity is Torres Shire Council not the Minister.</p>
<p><i>2(e). if paragraph (d) does not apply – all matters the responsible entity would or may assess against or have regard to, if the change application were a development application; and</i></p>	<p>The proposed change does not result in any changes that require additional matters to be assessed.</p>
<p><i>2(f). Another matter the responsible entity considers relevant.</i></p>	<p>There are no other matters identified as being relevant to the assessment.</p>
<p><i>(3). Subsections (4) and (5) apply if the responsible entity must, in assessing the change application under subsection (2)(d) or (da), consider—</i>  <i>(a) a statutory instrument; or</i>  <i>(b) another document applied, adopted or incorporated (with or without changes) in a statutory instrument.</i></p>	<p>The application was lodged and assessed against the current <i>Torres Shire Planning Scheme 2022</i>.</p>
<p><i>(4). The responsible entity must consider the statutory instrument, or other document, as in effect when the development application for the development approval was properly made.</i></p>	<p>As above</p>
<p><i>(5). However, the responsible entity may give the weight the responsible entity considers is appropriate, in the circumstances, to—</i>  <i>(a) the statutory instrument or other document as in effect when the change application was made; or</i>  <i>(b) if the statutory instrument or other document is amended or replaced after the change application is made but before it is decided—the</i></p>	<p>As above</p>

MATTER TO CONSIDER	RESPONSE
<p><i>amended or replacement instrument or document; or</i></p> <p><i>(c)another statutory instrument—</i></p> <p><i>(i)that comes into effect after the change application is made but before it is decided; and</i></p> <p><i>(ii)that the responsible entity would have been required to consider if the instrument had been in effect when the development application for the development approval was properly made.</i></p>	

## 6.0 INFRASTRUCTURE CHARGES

The proposed change will result in no changes to the infrastructure charges calculations or charges notice.

## 7.0 CONCLUSION

It is recommended the change application is approved subject to changes to the approved plan of development.

The following reasons for the decisions are to be included in the Notice of Decision required under section 63(5) of the *Planning Act 2016*.

- (a) The proposed change is minor, does not trigger additional referrals and does not result in any additional areas of non-compliance with the relevant assessment benchmarks under the *Torres Shire Planning Scheme 2022*.

## 12.6 Change Representations - Development Approval – IDAS 25/20 – Joey Josia Laifoo & Melissa Leanne Crump c/ Urban Sync – 42 Douglas Street, Thursday Island

**File Name** BSC/Governance/Reporting/Executive Services Report/2026  
**Author** Reel Planning Pty Ltd  
**Authoriser** Mary Bani, Chief Executive Officer  
**Attachments** A - Proposed amended plan of development (stage 1)  
 B – Proposed amended plan of development (stage 2)

PROPERTY DETAILS	
<b>Site Address</b>	42 Douglas Street, Thursday Island
<b>RPD</b>	Lot 1 RP716988
<b>Landowner</b>	Joey Josia Laifoo & Melissa Leanne Crump
<b>Existing Use of Land</b>	Food and Drink Outlet and Shop (and ancillary workshops)
APPROVAL DETAILS	
<b>Application No.</b>	IDAS25/20
<b>Applicant</b>	Joey Josia Laifoo & Melissa Leanne Crump c/ Urban Sync
<b>Application Description</b>	Development Permit for Material Change of Use – Rooming Accommodation
<b>Council Meeting</b>	18 November 2025
<b>Decision Notice date</b>	21 November 2025
CHANGE REPRESENTATIONS - APPLICATION DETAILS	
<b>Application No.</b>	IDAS25/20
<b>Applicant</b>	Joey Josia Laifoo & Melissa Leanne Crump c/ Urban Sync
<b>Application Description</b>	Change Representations to Development Permit for Material Change of Use – Rooming Accommodation
<b>Council Meeting</b>	17 February 2026
<b>Decision Due Date</b>	20 March 2026 (applicant agreed extension)

**EXECUTIVE SUMMARY**

There are two current development approvals over the site. The first approval (file reference IDAS24/02) was for a dwelling unit above the existing shop and an undercover entertainment structure to the rear of the site. The second approval (file reference IDAS25/20) was for a four (4) bedroom unit, approved as rooming accommodation above the entertainment structure.

The entire development across both approvals was initially planned to be undertaken at the same time. The applicant has indicated that due to funding the undercover entertainment area (approved under IDAS24/02) and the four (4) bedroom rooming accommodation above the structure (approved under IDAS25/20) will be constructed first and the dwelling unit (approved under IDAS24/02) will be constructed at a later date.

The change results in changes to both approvals. A separate report will be presented to Council seeking a minor change to the first approval.

The request to change the rooming accommodation approval has been submitted during the suspended applicant appeal period.

To facilitate the proposed timing of construction this report recommends a negotiated decision notice is issued, amending condition 2 (approved plans) and deleting condition 3 (timing condition).

**RECOMMENDATION**

1. That the application by Joey Josia Laifoo & Melissa Leanne Crump c/ Urban Sync seeking a Negotiated Decision Notice for the Development Approval for the Material Change of Use for Rooming Accommodation over Lot 1 RP716988 located at 42 Douglas Street, Thursday Island be approved in full.
2. That condition 2.1 be amended as follows;

<b>2.0</b>	<b>Approved Plans and Documents</b>				At all times	
2.1	The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by the conditions of this permit.					
	<b>Drawing No.</b>	<b>Document Name</b>	<b>Revision</b>	<b>Date</b>		<b>Drawn by</b>
	SK01	Cover Sheet	4	21/01/2026		Nevele
	SK02	Site Plan	4	21/01/2026		Nevele
	SK04	Ground Floor Plan	4	21/01/2026		Nevele
	SK07	Elevations	4	21/01/2026		Nevele

3. That condition 3.0, including condition 3.1 and condition 3.2 be deleted.

**1.0 THE SUBJECT SITE**



FIGURE 1: Subject Site

## 2.0 BACKGROUND

The existing use of the premises for a food and drink outlet, shop and ancillary workshops was subject to an Exemption Certificate issued on 18 July 2022 under section 46(3)(b) of the *Planning Act 2016* (File ref IDAS22/06). The material change of use triggered code assessable development due to the designation of the site in the coastal hazard overlay and the identification of the area as a local heritage place. The Exemption Certificate was issued as the effect of the development was deemed minor and inconsequential as the use was within an existing building, involved no building work and there was no evidence the building was a former pearl shed.

The food and drink outlet, shop and ancillary workshops have been operating from the site since 2022.

In July 2024 Council approved a development application for a three (3) bedroom dwelling unit above the existing shop and approval to formalise the cultural activities, including dance shows and workshops. A new roofed unenclosed structure for the entertainment activities was approved to the rear of the site (Council file reference IDAS24/02 Decision Notice dated 18 July 2024).

In September 2025 Council approved amendments to the approved plans reducing the roof pitch and overall height of the roofed structure and changes to the proposed dwelling unit deck (generally in accordance letter dated 30 September 2025).

The dwelling unit and roofed entertainment structure have not been constructed.

Council at its meeting held on 18 November 2025, approved subject to conditions an additional accommodation unit for staff comprising of a four (4) bedroom self-contained dwelling unit above the

proposed covered entertainment structure (Council file reference IDAS25/20 Decision Notice dated 21 November 2025).

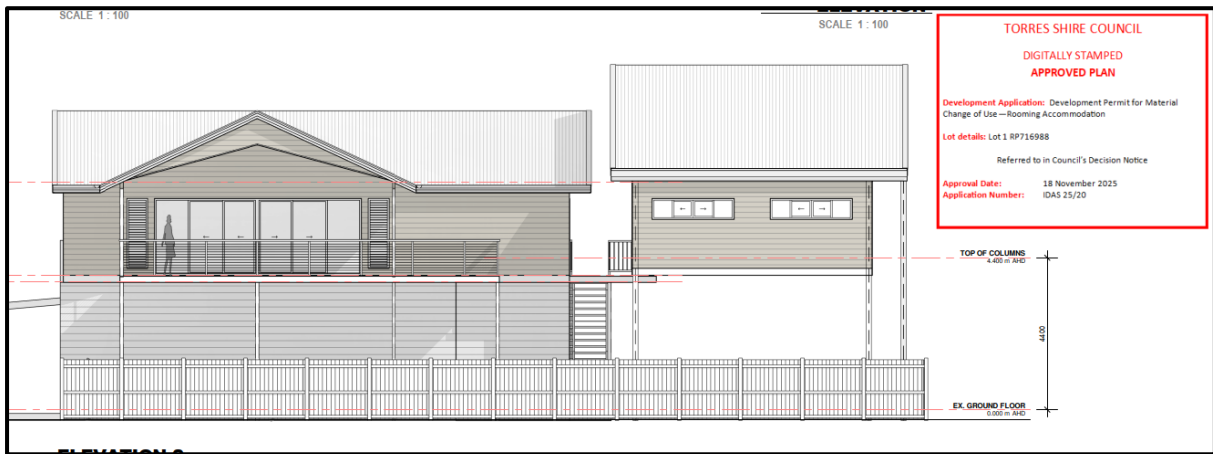
**3.0 CHANGE REPRESENTATIONS**

In accordance with section 75(1) of the *Planning Act 2016*, the applicant submitted change representations as outlined in the change request letter dated 19 January 2026 and email received on 11 February 2026.

The applicant is seeking to amend the approved plans and delete condition 3 (timing condition).

The proposed amended plans are provided in Attachment 1 and extract in Figure 3.

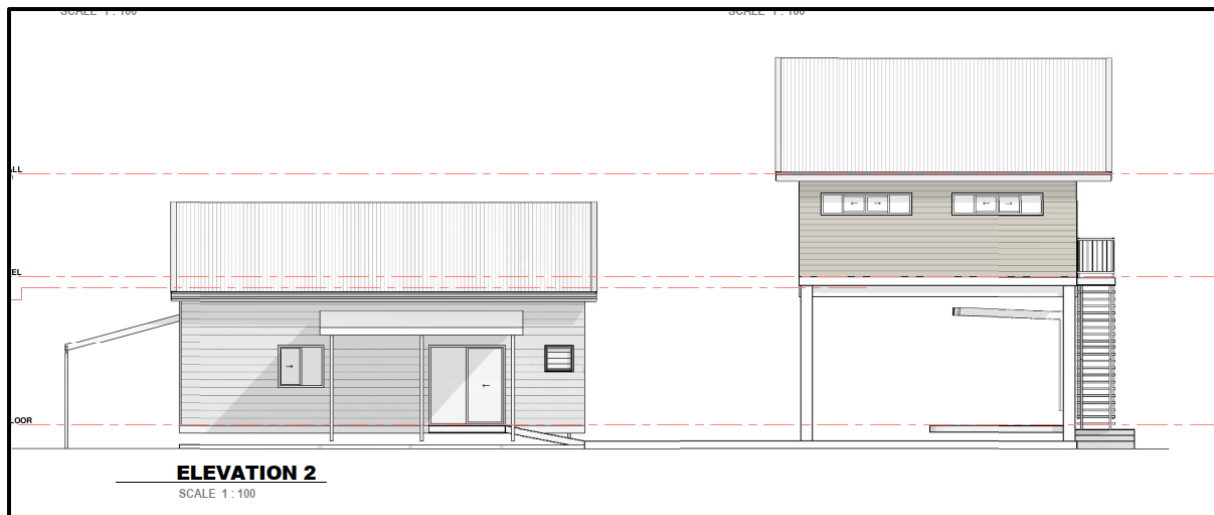
For comparison, Figure 1 and 2 captures the overall development as approved and the proposed change. The main change is the inclusion of a separate set of stairs to the rear of the rooming accommodation.



**FIGURE 1** – Approved plan (including the approved dwelling unit above existing shop under separate approval)



**FIGURE 2** – Proposed plan (including the approved dwelling unit above existing shop under separate approval)



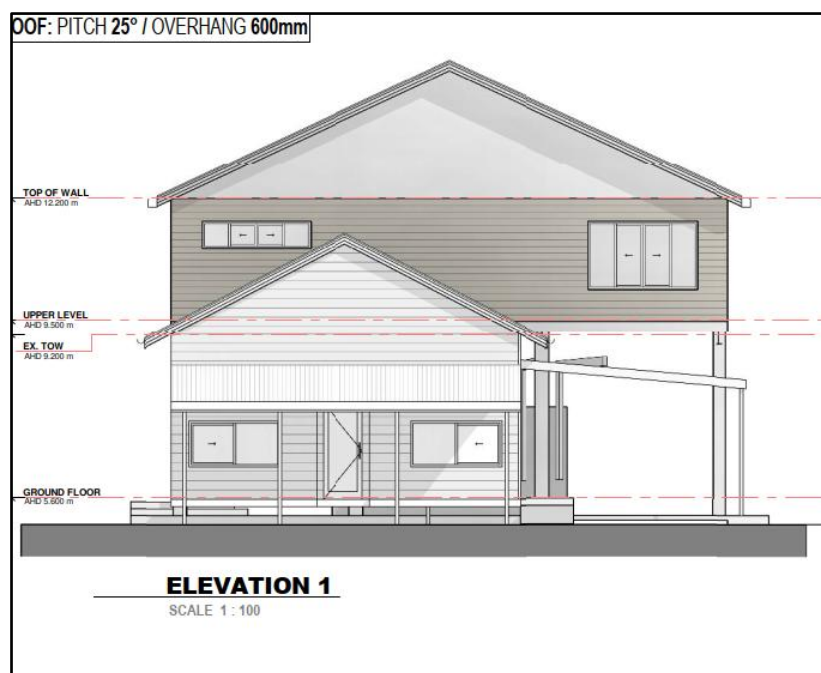
**FIGURE 3 – Proposed plan (rooming accommodation unit)**

**4.0 PLANNING ASSESSMENT**

The proposed change, in conjunction with the minor change to an earlier approval will result in the development being undertaken in two stages over two separate approvals.

- Stage 1 will involve the construction of the undercover entertainment structure (approved under IDAS24/02) and the rooming accommodation above the structure (approved under IDAS25/20); and
- Stage 2 will involve the construction of the dwelling unit above the existing shop (approved under IDAS24/02).

The proposed change will not affect the development to operate as intended, however the visual appearance of the building as viewed from the street frontage will be different for stage 1, with the rooming accommodation structure visible as depicted in Figure 4 below.



**FIGURE 4 – Proposed plan (rooming accommodation unit as viewed from Douglas Street frontage)**

Condition 3 of the approval required the dwelling unit above the shop and covered entertainment structure to be constructed before or at the same time as the rooming accommodation.

The approval is amended to change the staging and plans to result in the rooming accommodation being a stand-alone development which could proceed at any time irrespective of the other approval.

Original condition 3.1 and 3.2 can be deleted.

3.0	Evidence of compliance with earlier approval	
3.1	Provide written evidence to Council that the building approval has been issued for the dwelling unit and covered entertainment structure subject to the earlier approval (IDAS 24/02).  <i>*note- the development can form part of the same building approval</i>	Prior to the issue of the development permit for building work
3.2	Provide written evidence to Council that the certificate of occupancy has been issued for the dwelling unit and covered entertainment structure subject to the earlier approval (IDAS 24/02).  <i>*note- the development can form part of the same building approval</i>	Prior to the issue of the certificate of occupancy and commencement of use

Overall, no concerns are raised with the proposal and the change does not introduce any other additional assessment considerations.

## 5.0 REFERRALS

The original application did not trigger a referral under Schedule 10 of the *Planning Regulation 2017*.

## 6.0 INFRASTRUCTURE CHARGES

The proposed change will result in no changes to the Infrastructure Charges calculations.

## 7.0 CONCLUSION

The proposed change representation seeking a Negotiated Decision Notice is recommended for approval.

The following reasons for the decisions are to be included in the Notice of Decision required under section 63(5) of the *Planning Act 2016*.

The proposed change to the condition will not affect the development to operate as intended.

## 12.7 Proposed Buoy Mooring – Free Spirit (Matt Birney Builders)

File Name	BSC/Governance/Reporting/Executive Services Report/2025
Author	Ed Kulpa, Director Projects, Planning & Environment
Authoriser	Mary Bani, Chief Executive Officer
Attachments	NIL

### SUMMARY

The purpose of this report is to provide information to Council on a proposed buoy mooring located in the waters of Port Kennedy, Thursday Island as follows:

- Lat 10' 59.5 Deg South
- Long 142' 24.2 Deg East



**Figure 1 – Mooring Coordinates**

The purpose of the buoy mooring is to secure a 15-metre length Aluminium Power Cat. To accompany the application to Maritime Safety Queensland (MSQ) the applicant is seeking a letter of no objection from Torres Shire Council.

**CONSIDERATIONS**

The location of the proposed buoy mooring is not located in the Torres Shire Council local government tidal area and Council does not have any policies, regulations or by-laws that are applicable to the mooring. The mooring is well removed from Council's submarine water pipe infrastructure.

**LINK TO CORPORATE PLAN*****Our Future:*****4.2. Our Business Diversity/ Economic Development (FACILITATE)**

A sustainable and diverse local economy

- Create a regional alliance to devise a strategy and action plan to retain and grow local business enterprises and encourage investment in the region, particularly in sustainable, small to medium enterprises.
  - Maintain and drive further commitment and greater employment outcome through the Indigenous Employment and Opportunity Plan (IEOP) and the Indigenous Procurement Plan (IPP).
  - Engage in the Developing Northern Australia rollout to enhance business and economic growth.
  - Advocate to establish the Tourism Information Centre.
  - Engage and support tourism activities.

**LEGAL IMPLICATIONS (STATUTORY, BASIS, LEGAL RISK)**

*Planning Act 2016 (Qld) (as amended)*

*Planning Regulation 2017 (Qld) (As amended)*

**POLICY IMPLICATIONS**

Nil

**FINANCIAL AND RESOURCE IMPLICATIONS (BUDGETARY)**

Nil

**RECOMMENDATION**

That Council delegates authority to the Chief Executive Officer to prepare a letter of response to be provided to the customer advising Council has no concerns with the proposal for the new mooring as per the provided location.

**12.8 Enquiry – Proposed Buoy Mooring – Torres Strait Shipping Pty**

**File Name** BSC/Governance/Reporting/Executive Services Report/2026  
**Author** Ed Kulpa, Director Projects, Planning & Environment  
**Authoriser** Mary Bani, Chief Executive Officer  
**Attachments:** NIL

**SUMMARY**

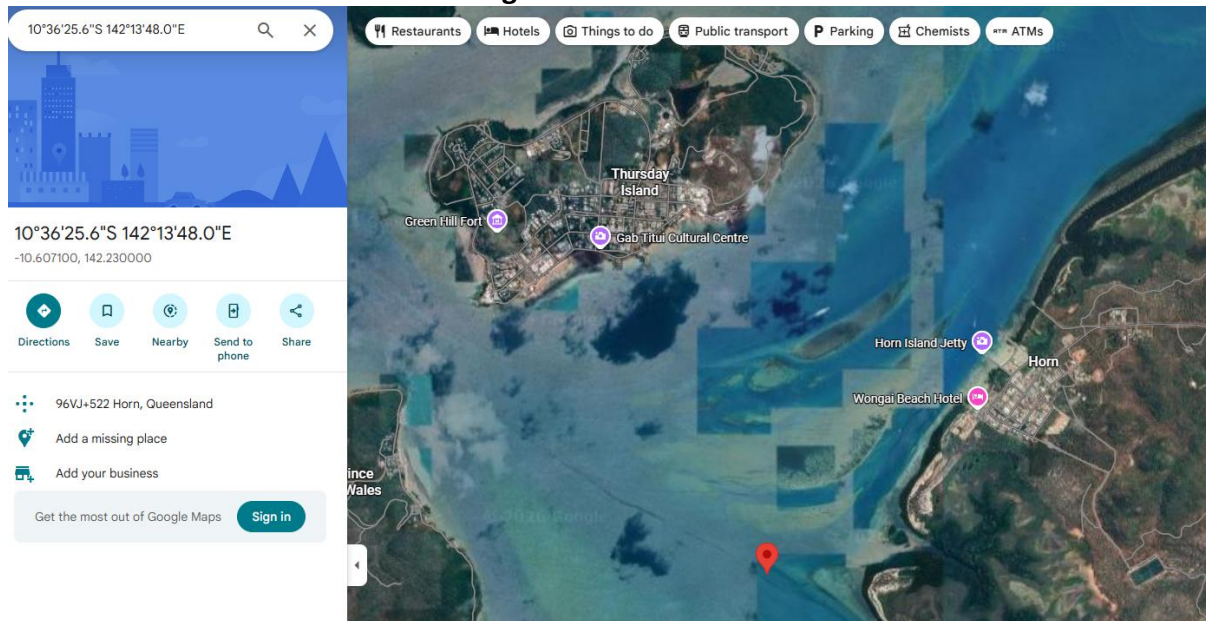
In January 2026, Torres Strait shipping requested a letter of no objection for a proposed buoy mooring. Torres Strait Shipping contacted Council late February requesting a new letter of no objection, as their application to MSQ had resulted in a coordinate change.

The revised coordinates are as follows:

**Latitude: 10°36.426' South**

**Longitude: 142°13.800 East**

The revised location is identified in Figure 1.



**Figure 1 – Provided Map**

Torres Strait Pty Ltd propose that the purpose of the buoy mooring is to serve as a secure anchorage point. To accompany the application to Maritime Safety Queensland (MSQ) the applicant is seeking a letter of no objection from Torres Shire Council.

## CONSIDERATIONS

The location of the proposed buoy mooring is not located in the Torres Shire Council local government tidal area and Council does not have any policies, regulations or by-laws that are applicable to the mooring. The mooring is well removed from Council's submarine water pipe infrastructure.

The requirements for any form of visual guidance on the buoy will be determined by the Authority issued by Maritime Safety Queensland when they consider the application. It is not a decision made by other agencies such as the Local Government.

## LINK TO CORPORATE PLAN

### *Our Future:*

#### **4.2. Our Business Diversity/ Economic Development (FACILITATE)**

##### **A sustainable and diverse local economy**

- **Create a regional alliance to devise a strategy and action plan to retain and grow local business enterprises and encourage investment in the region, particularly in sustainable, small to medium enterprises.**
  - **Maintain and drive further commitment and greater employment outcome through the Indigenous Employment and Opportunity Plan (IEOP) and the Indigenous Procurement Plan (IPP).**
  - **Engage in the Developing Northern Australia rollout to enhance business and economic growth.**

## **LEGAL IMPLICATIONS (STATUTORY, BASIS, LEGAL RISK)**

*Planning Act 2016 (Qld) (as amended)*

*Planning Regulation 2017 (Qld) (As amended)*

## **POLICY IMPLICATIONS**

Nil

## **FINANCIAL AND RESOURCE IMPLICATIONS (BUDGETARY)**

Nil

## **RECOMMENDATION**

**That Council delegates authority to the Chief Executive Officer to prepare a letter of response to be provided to the customer advising Council has no concerns with the proposal.**

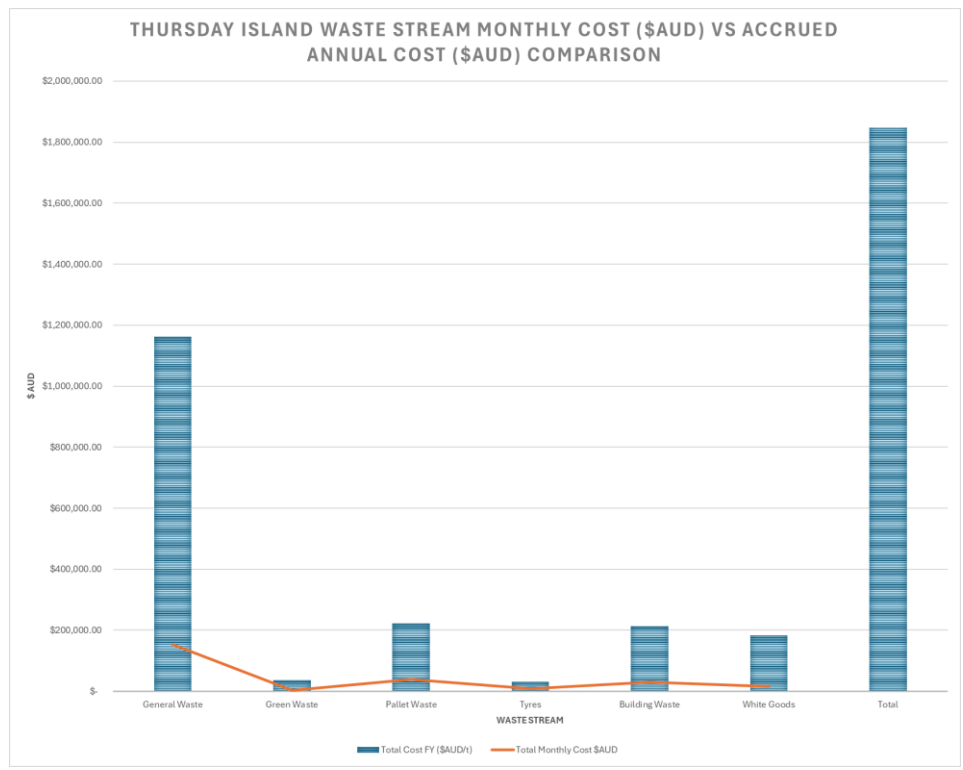
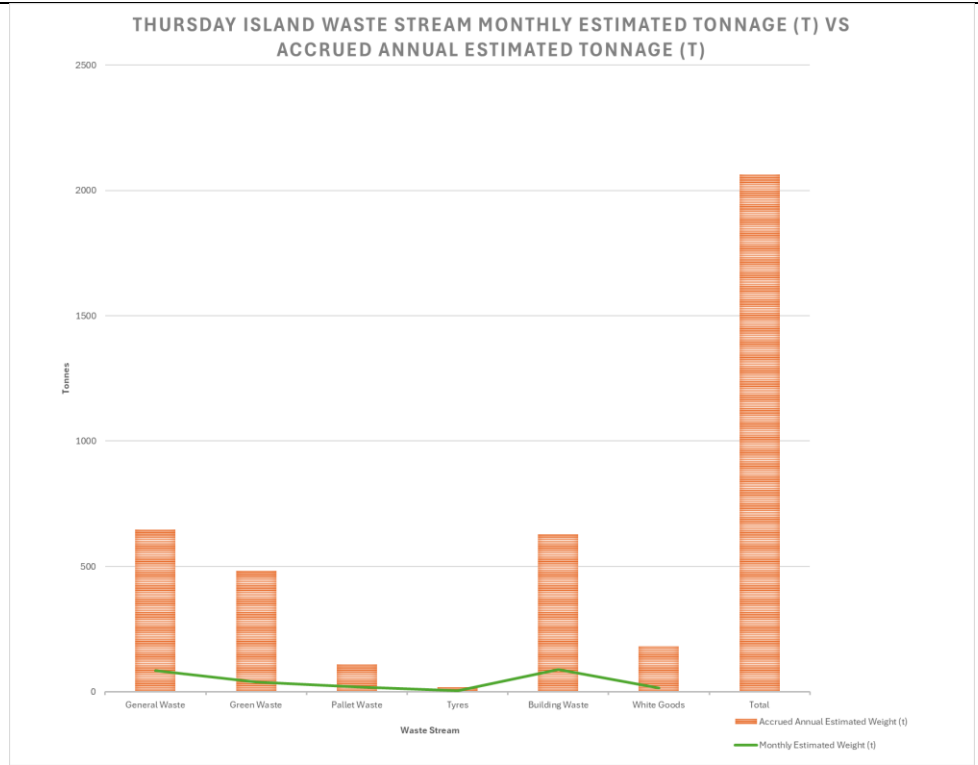
## 12.9 Operational Works Program Report

**File Number** BSC/Governance/ Reporting/Executive Services Report/2026  
**Author:** Roger Naidoo, Executive Manager Engineering and Infrastructure  
**Authoriser:** Mary Bani, Chief Executive Officer  
**Attachments:** Nil

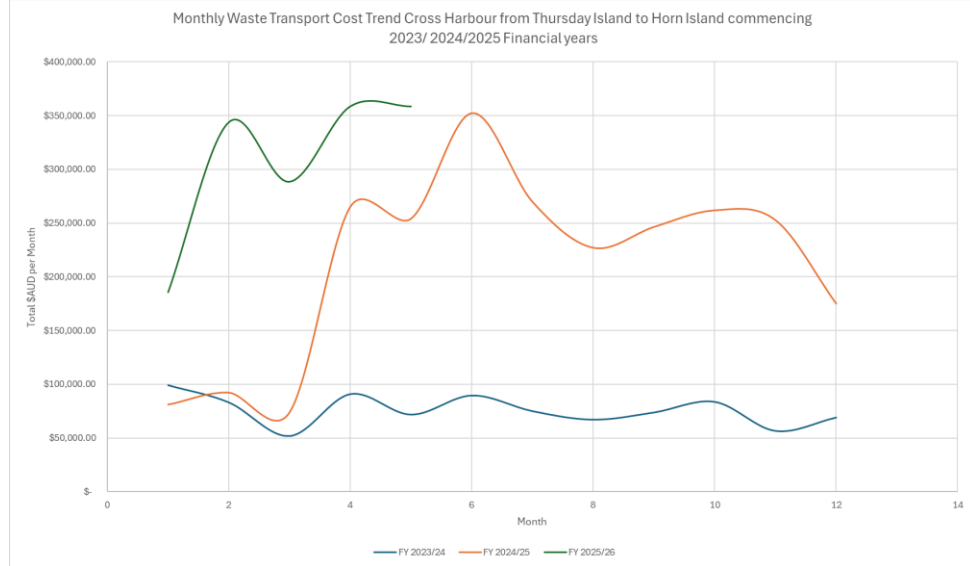
### WORKS SUMMARY

AREA	WORKS
1. Roads & Drainage	<ul style="list-style-type: none"> <li>• On-going routine Maintenance.</li> <li>• Stormwater and open drain cleaning in progress.</li> </ul> <p><b>Maintenance Crew</b></p> <ul style="list-style-type: none"> <li>· Drainage maintenance – Douglas Street (TI Hardware – Anzac Park)</li> </ul> <p><b>Construction Crew – Pothole patching</b></p> <ul style="list-style-type: none"> <li>· Douglas street</li> <li>· Ring road (Dougals Street)</li> <li>· Waiben Esplanade</li> <li>· Summer Street</li> <li>· Blackall Street</li> <li>· John Street</li> </ul>
2. Parks & Gardens	<p>On-going routine Maintenance.</p> <ul style="list-style-type: none"> <li>· Bayo beach</li> <li>· Victoria Parade</li> <li>· Anzac Park</li> <li>· Cooks Landing</li> <li>· Rose Hill Zar Zar</li> <li>· Back Beach</li> </ul> <p>Wasaga Depot Crew</p> <ul style="list-style-type: none"> <li>· Grass cutting Wasaga village</li> <li>H.I refuse collection</li> <li>· Airport Road grass cutting</li> <li>Horn Island Transfer Station</li> <li>· Removal of white goods</li> <li>· General clean up (litter)</li> <li>· Waste oil container transfers</li> </ul> <p>General Maintenance Both T.I &amp; H.I depot</p> <ul style="list-style-type: none"> <li>· Grass cutting (house/Office)</li> <li>· Ground Maintenance (general clean-up workshop and Depot area)</li> </ul>
3. Street/Park Lighting	Electrician repaired Flood Lights at KBO
4. Private works	<ul style="list-style-type: none"> <li>• Nil</li> </ul>
5. Boat ramps	<ul style="list-style-type: none"> <li>• Rosehill Boat Pressure Cleaned</li> </ul>

6. Plant & Workshop	<ul style="list-style-type: none"> <li>• Ongoing routine maintenance and servicing of Plant and Vehicles.</li> <li>• Workshop Manager is working through the Replacement list for next FY.</li> <li>• Awaiting delivery of Garbage Truck</li> <li>• Procurement of Landfill Compactor is progressing.</li> </ul>																																												
7. Depot	<ul style="list-style-type: none"> <li>• Housekeeping is continuing.</li> </ul>																																												
8. Waste Management	<p>Thursday Island Transfer station (NB tonnage totals are approximations only calculated through industry standard conversion factors.)</p> <p><b>Financial year vs monthly waste volume and tonnage totals</b></p> <table border="1" data-bbox="438 548 1268 1541"> <thead> <tr> <th rowspan="2">Item</th> <th colspan="2">Total to date (FY)</th> <th colspan="2">Monthly Total (February 25)</th> </tr> <tr> <th>m<sup>3</sup></th> <th>t</th> <th>m<sup>3</sup></th> <th>t</th> </tr> </thead> <tbody> <tr> <td>General Waste</td> <td>4864</td> <td>646.91</td> <td>576</td> <td>76.608</td> </tr> <tr> <td>Green Waste</td> <td>1952</td> <td>482.14</td> <td>160</td> <td>39.52</td> </tr> <tr> <td>Pallet Waste</td> <td>580</td> <td>110.2</td> <td>100</td> <td>19</td> </tr> <tr> <td>Tyres</td> <td>60</td> <td>18</td> <td>15</td> <td>4.5</td> </tr> <tr> <td>Building Waste</td> <td>896</td> <td>627.2</td> <td>128</td> <td>89.6</td> </tr> <tr> <td>White Goods</td> <td>360</td> <td>180</td> <td>30</td> <td>15</td> </tr> <tr> <td><b>Totals</b></td> <td><b>8712</b></td> <td><b>2064.45</b></td> <td><b>1009</b></td> <td><b>244.228</b></td> </tr> </tbody> </table>	Item	Total to date (FY)		Monthly Total (February 25)		m <sup>3</sup>	t	m <sup>3</sup>	t	General Waste	4864	646.91	576	76.608	Green Waste	1952	482.14	160	39.52	Pallet Waste	580	110.2	100	19	Tyres	60	18	15	4.5	Building Waste	896	627.2	128	89.6	White Goods	360	180	30	15	<b>Totals</b>	<b>8712</b>	<b>2064.45</b>	<b>1009</b>	<b>244.228</b>
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Three Year Cost Comparison

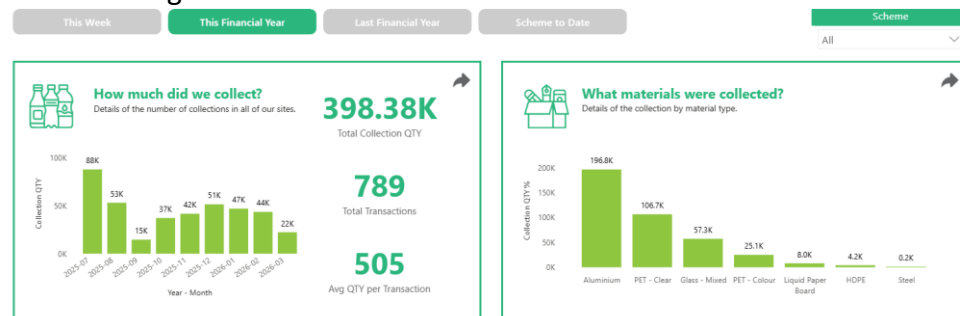


New transfer station Office awaiting microwave communication tower to be removed to continue work. Scheduled to commence as soon as contractor arrives.

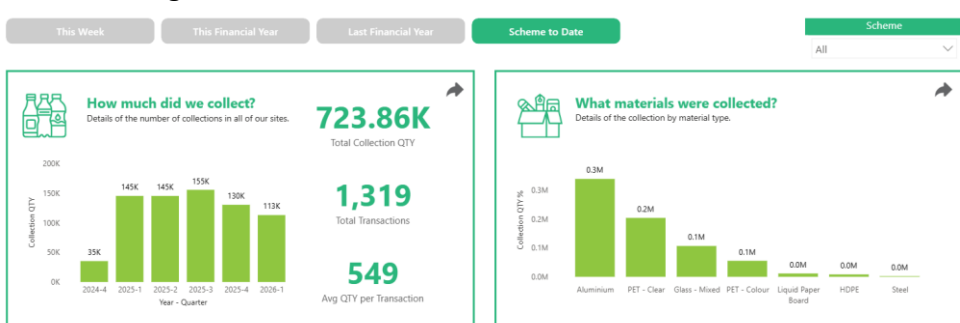
**Containers for Change**

Diverted material COEX Project	Number of Containers counted (each)	Exported material (t)
<b>Total</b>	<b>825,013</b>	<b>44.238</b>
<b>February 2026</b>	<b>38,846</b>	<b>4.883</b>

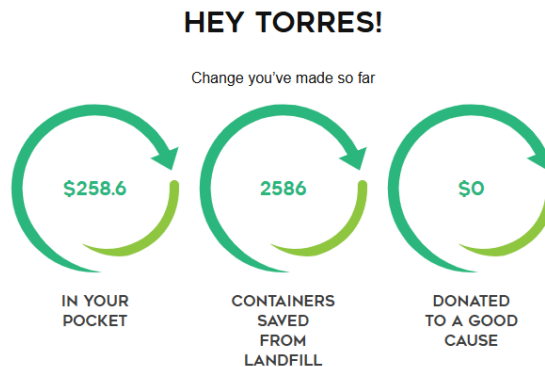
**Scheme info gram below – Scheme this financial Year**



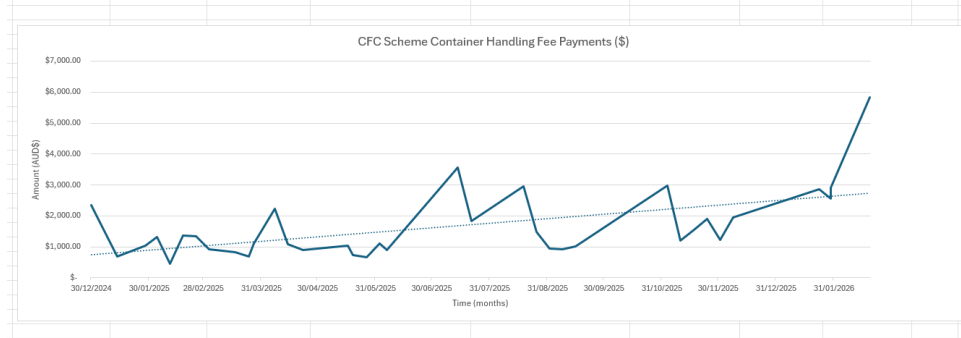
**Scheme info gram below – Scheme to date**



Containers collected and paid to Torres Shire Council account

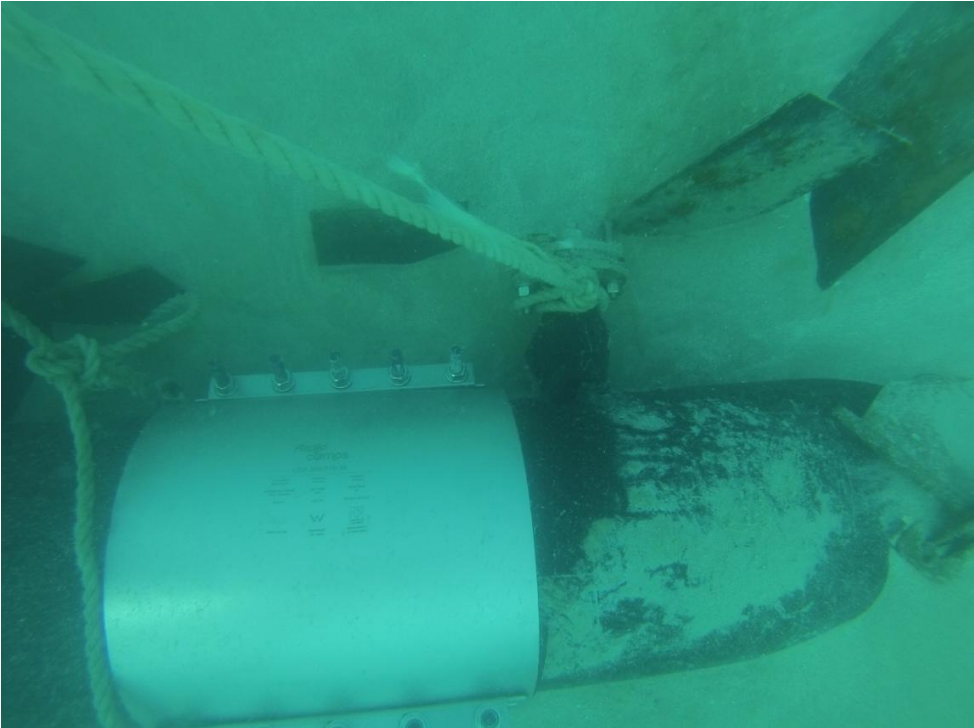



Council receives a handling fee for the number of containers counted. The graph below indicates the trend since commencement.



**9. Water Services**

- Loggy Creek dam level 100% - (Restriction level 1)
  - Water usage for Horn Island for the month – Flow Meter requires replacement (ordered and awaiting delivery)
  - Water usage for Thursday Island for the month – 76 ML
  - Water usage for Hammond Island for month of July - 5496 KL
- Water Leaks,
- TI - 1 x water mains burst and 20 leaks.
  - HI - 0 leaks detected.
- Horn Island filtration plant
- Design and tender for new UV Filter in progress.

	<p>Repair of the Sub-marine Watermain between Thursday and Horn Islands</p> 
<p>10. Sewer Services</p>	<p>Sewer Maintenance</p> <ul style="list-style-type: none"> <li>· New pumps for Stephen St installed.</li> <li>· Sludge feed pumps are installed.</li> <li>· Aeration diffusers need replacement throughout aeration tanks as more faulty diffusers are becoming evident. Getting quotes to replace all aeration banks ready for next year’s budget.</li> </ul>
<p>11. Staff Housing</p>	<ul style="list-style-type: none"> <li>• On-going maintenance</li> <li>• Work commenced on several Council houses and facilities.</li> <li>• Council engaged a Building Contractor to assist with the backlog of maintenance jobs.</li> </ul> <p>Summer St. Council House – Driveway Cleaning</p> 

The bathroom and steps have been renovated at 16B Summer Street. Steps were unsafe and the bathtub was leaking.



**84B Hargrave Street**



Repair work commenced, which included repairs to windows and doors, repainting, roof maintenance and soon a deck replacement.





Roof Before



Roof After



	 <p data-bbox="437 801 608 835">Stairs Before</p>  <p data-bbox="1038 801 1187 835">Stairs After</p> 
<p>12. Building Infrastructure Management</p>	<p>Horn Island Stadium Refurbishment Materials arrived at the beginning of December 2025. Work has commenced with the engagement of the new Builder.</p>

	<div style="display: flex; justify-content: space-around;">   </div> <p>ARO office AC- installed                  There had been a box AC uninstalled in the office for a period of time. The newly engaged Builder has fitted this in the first couple of days, before starting on the Horn Island Stadium</p> <div style="display: flex; justify-content: space-around;">   </div>
<p>13. Festivals – Department Support</p>	<ul style="list-style-type: none"> <li>• Nil</li> </ul>
<p>14. Recreation/ Leisure/ Community infrastructure</p>	<ul style="list-style-type: none"> <li>• Nil to report</li> </ul>
<p>15. Construction/ Maintenance</p>	<ul style="list-style-type: none"> <li>• Repair and cleaning of Kerb and Channel, Stormwater Drains, Footpaths, Driveways and parking areas are in progress.</li> <li>• Resumed pothole patching.</li> <li>• Paving Project at the Airport has been halted due to weather.</li> </ul>

16. Disaster Management – support	<ul style="list-style-type: none"> <li>• Nil to report.</li> </ul>																																																																								
17. Cemeteries Maintenance	<ul style="list-style-type: none"> <li>• On-going Mowing and general tidy.</li> <li>• Request for more taps to be installed. 24 existing taps. Identify new locations for additional taps. Programmed.</li> </ul>																																																																								
18. Airport	<p><b>Regular Passenger Transport Data</b></p> <table border="1" data-bbox="437 589 1425 1151"> <thead> <tr> <th>QantasLink</th> <th>January 2026</th> <th>February 2026</th> <th>Comparison</th> </tr> </thead> <tbody> <tr> <td>Number of Flights</td> <td>126</td> <td>106</td> <td>(20)</td> </tr> <tr> <td>Cancelled Flights</td> <td>2</td> <td>4</td> <td>(2)</td> </tr> <tr> <td>Pax arrivals from Cairns</td> <td>3,272</td> <td>2,562</td> <td>(710)</td> </tr> <tr> <td>Pax departing to Cairns</td> <td>3,118</td> <td>2,651</td> <td>(467)</td> </tr> <tr> <td>Average Passenger per flight</td> <td>49.92</td> <td>49.18</td> <td></td> </tr> </tbody> </table> <p><b>Overnight Parking</b></p> <table border="1" data-bbox="437 1240 1425 1843"> <thead> <tr> <th>Overnight Parking</th> <th>December 2025</th> <th>January 2026</th> <th>February 2026</th> </tr> </thead> <tbody> <tr> <td>Number of Aircraft</td> <td>765</td> <td>675</td> <td>571</td> </tr> <tr> <td>Babcock</td> <td>0</td> <td>1</td> <td>0</td> </tr> <tr> <td>Nautilus</td> <td>114</td> <td>18</td> <td>10</td> </tr> <tr> <td>Torres Strait Air</td> <td>82</td> <td>66</td> <td>75</td> </tr> <tr> <td>Cape Air Transport</td> <td>128</td> <td>149</td> <td>98</td> </tr> <tr> <td>Microflight</td> <td>45</td> <td>46</td> <td>30</td> </tr> <tr> <td>Hinterland</td> <td>89</td> <td>94</td> <td>84</td> </tr> <tr> <td>Horizon Airways</td> <td>82</td> <td>81</td> <td>68</td> </tr> <tr> <td>Coastal Rotors</td> <td>80</td> <td>71</td> <td>54</td> </tr> <tr> <td>Remote tech</td> <td>117</td> <td>109</td> <td>108</td> </tr> <tr> <td>Itinerants</td> <td>28</td> <td>40</td> <td>44</td> </tr> </tbody> </table>	QantasLink	January 2026	February 2026	Comparison	Number of Flights	126	106	(20)	Cancelled Flights	2	4	(2)	Pax arrivals from Cairns	3,272	2,562	(710)	Pax departing to Cairns	3,118	2,651	(467)	Average Passenger per flight	49.92	49.18		Overnight Parking	December 2025	January 2026	February 2026	Number of Aircraft	765	675	571	Babcock	0	1	0	Nautilus	114	18	10	Torres Strait Air	82	66	75	Cape Air Transport	128	149	98	Microflight	45	46	30	Hinterland	89	94	84	Horizon Airways	82	81	68	Coastal Rotors	80	71	54	Remote tech	117	109	108	Itinerants	28	40	44
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Pothole Patching Summer Street



**Scrap Metal Project**

The baler is currently working at the Landfill on Horn Island. As of 6 March, SIMMS has baled approximately 150 tons on Horn Island and approximately 400 tons on Thursday Island. Council Officers have removed approximately 140 cars/Utes from yards and the side of the road on Thursday.

Thursday Island Before



## Thursday Island After

**LINK TO CORPORATE PLAN*****Our People (PROVIDE)*****2.4 Our Organisation Alignment and Performance Planning**

- Council delivers strategic outcomes and is resilient and responsive to change

***Our Governance (LEAD)*****3.3 Council maintains effective governance processes**

- Maintains best practice financial and risk management procedures
- Maintains policies, procedures, frameworks and registers;
  - Maintain and meet audit requirements

**CONSULTATION**

Executive Leadership Team  
Stakeholder Funding Bodies

**LEGAL IMPLICATIONS**

Nil

**POLICY IMPLICATIONS**

Nil

**FINANCIAL AND RESOURCE IMPLICATIONS (BUDGETARY)**

As per approved Operational Budget

**RECOMMENDATION**

That Council receives and notes the Operational Works Program Report for February 2026.

## CONFIDENTIAL REPORTS

### **14.1 In Committee – Request for Extended Lease Period – Babcock Helicopter, Horn Island**

This matter is considered to be confidential under s.254J(3)(g) of the *Local Government Regulations 2012*, and the Council is satisfied that the discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to a commercial matter involving the Local Government for which a public discussion would be likely to prejudice the interests of the Local Government.

### **14.2 In Committee – TI Stadium Floor Repair Tender Award**

This matter is considered to be confidential under s.254J(3)(g) of the *Local Government Regulations 2012*, and the Council is satisfied that the discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to a commercial matter involving the Local Government for which a public discussion would be likely to prejudice the interests of the Local Government.

### **14.3 In Committee – Loban Road Upgrade Tender Award**

This matter is considered to be confidential under s.254J(3)(g) of the *Local Government Regulations 2012*, and the Council is satisfied that the discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to a commercial matter involving the Local Government for which a public discussion would be likely to prejudice the interests of the Local Government.

### **14.4 In Committee – Consideration of Request for Road Reserve Purchase 67 Summer Street**

This matter is considered to be confidential under s.254J(3)(g) of the *Local Government Regulations 2012*, and the Council is satisfied that the discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to a commercial matter involving the Local Government for which a public discussion would be likely to prejudice the interests of the Local Government.

### **14.5 In Committee – Scrap Metal Project – Request to Engage a Barge Company for Cross Harbour Transport of Vehicles**

This matter is considered to be confidential under s.254J(3)(g) of the *Local Government Regulations 2012*, and the Council is satisfied that the discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to a commercial matter involving the Local Government for which a public discussion would be likely to prejudice the interests of the Local Government.

# TORRES SHIRE COUNCIL

## MATTERS FOR ACTION

from

### Council Meeting Minute Resolutions

**COUNCIL ORDINARY MEETING – 17 FEBRUARY 2026**

DISTRIBUTED TO DIRECTORS FOR  
COMMENTS/ACTION TAKEN

- CEO - Mary Bani
- DCCS – Karren MacClure
- DEIS – Roger Naidoo
- DPPE – Edward Kulpa

For Chief Executive Officer on completion

Records – Karyn Robertson

Action Required for Resolutions	Officer responsible	Comments or Actions Taken
<b><u>CORPORATE AND COMMUNITY SERVICES</u></b>		
<b>CORPORATE AND COMMUNITY SERVICES – FINANCIAL REPORT</b> <b>Min. 26/2/6</b> - That Council: <ul style="list-style-type: none"><li>• Note the Financial Report for the period ended January 2026 as presented.</li><li>• Note the attachments for the period ended January 2026 listed as follows:<ol style="list-style-type: none"><li>1. Cash Position January 2026</li><li>2. Income and Expenditure Airport January 2026</li><li>3. Income and Expenditure all of Council January 2026</li><li>4. Revenue Graph Actual vs Budget January 2026</li><li>5. Expenses Graph Actual vs Budget January 2026</li><li>6. Statement of Financial Position January 2026</li></ol></li></ul>	FIN MGR	NFA
<b>CORPORATE AND COMMUNITY SERVICES REPORT</b> <b>Min. 26/2/7</b> - That Council note the Corporate and Community Services Report for January 2026 as presented.	DCCS	NFA
<b>TORRES STRAIT NAIDOC AWARDS 2026</b> <b>Min. 26/2/8</b> - That Council note the 2026 Torres Strait NAIDOC Awards will be held on Friday, 17 <sup>th</sup> July 2026, during National NAIDOC Week.	DCCS	Actioning
<b><u>ENGINEERING AND INFRASTRUCTURE SERVICES</u></b>		
<b>OPERATIONAL WORKS PROGRAM REPORT</b> <b>Min. 26/2/29</b> - That Council receives and notes the Operational Works Update Report for January 2026.	DEIS	NFA
<b><u>PROJECTS, PLANNING AND ENVIRONMENT</u></b>		
<b>EXTENSION APPLICATION – DEVELOPMENT PERMIT FOR A MATERIAL CHANGE OF USE – ACCOMMODATION BUILDING – IDAS 17/11 – MATTHEW BIRNEY C/- URBAN SYNC PTY LTD – 138-140 DOUGLAS STREET, THURSDAY ISLAND</b> <b>Min. 26/2/10</b> - That Torres Shire Council approve the request to extend the currency period of the Development Permit for Material Change of Use – Accommodation Building (18 rooms) on land located at 138-140 Douglas Street, Thursday Island, formally described as Lot 1 on RP737855.  (a) two (2) year extension of the currency period for Stage 1, with the approval lapsing on 23 February 2028.	DPPE	NFA Advisory letter sent to applicant.

<p><b>CAPITAL WORKS PROGRAM REPORT</b>  <b>Min. 26/2/11</b> - That Council receives and notes the Capital Works Program Report for February 2026.</p>	<p><b>DPPE</b></p>	<p><b>NFA</b></p>
<p><b><u>IN COMMITTEE</u></b></p> <p><b>CONSIDERATION OF REQUEST FOR ROAD RESERVE PURCHASE 2 STEPHEN STREET, THURSDAY ISLAND</b>  <b>Min. 26/2/14</b> - It is recommended that Torres Shire Council again advises the Department of Housing and Public Works that:</p> <ol style="list-style-type: none"> <li>1. It does not endorse the sale of road reserves to allow for lot expansion on Thursday Island,</li> <li>2. Recommends to the Department of Housing and Public Works that it investigates opportunities for development on Horn Island, and</li> <li>3. Delegates authority to the Chief Executive Officer to make arrangements for representations to State and Commonwealth Ministers on reducing in-fill development on Thursday Island and discuss investment into planning and development on Horn Island.</li> </ol>	<p><b>DPPE</b></p>	<p><b>NFA</b>  Advisory letter sent to applicant.</p>



# **MINUTES**

**Ordinary Council Meeting**

**17 February 2026**

**MINUTES OF TORRES SHIRE COUNCIL ORDINARY COUNCIL MEETING  
HELD IN COUNCIL CHAMBERS, THURSDAY ISLAND ON TUESDAY 17 FEBRUARY 2026**

**1 AGENDA CONTENTS**

**2 ATTENDANCE**

Cr Elsie Seriat (Mayor), Cr Toshio Nakata (Deputy Mayor), Cr Gabriel Bani, Cr Thomas Loban, Cr Thomas Fujii (Jnr), Mary Bani (Chief Executive Officer), Edward Kulpa (Director Projects, Planning and Environment), Roger Naidoo (Director Engineering and Infrastructure Services), Karren MacClure (Director Corporate and Community Services), Kimberley Yorkston (Executive Secretary) and Isabella Muhamad-Mosby (A/Executive Secretary).

**3 MEETING OPENED**

The meeting opened with a prayer by Mayor Elsie Seriat at 9:07 am.

**4 APOLOGIES**

*Cr Gabriel Bani  
Cr Thomas Fujii*

**RECOMMENDATION Min. 26/2/1**

Moved: Deputy Mayor Toshio Nakata  
Seconded: Cr Thomas Loban

That Council receive the apology from Cr Gabriel Bani and Cr Thomas Fujii.

**CARRIED**

**PUBLIC GALLERY**

Our Lady of the Sacred Heart School, Staff & Students      9:07am – 9.25am

**5 ACKNOWLEDGEMENT OF COUNTRY**

*On behalf of all Councillors, the Mayor acknowledged the Kaurareg people, Traditional Custodians of the land on which we meet today, and paid respects to their Elders past, present and emerging and the Traditional Owners of Zenadth Kes.*

**6 CONDOLENCES**

*A minute's silence was observed as a mark of respect in memory of a deceased person or persons of our community and/or area of the Torres Strait.*

*Mr Ronald Nakata*

**7 DECLARATIONS OF INTEREST**

*Nil*

**8 CONFIRMATION OF MINUTES****8.1 ORDINARY COUNCIL MEETING – 27 JANUARY 2026****RECOMMENDATION Min. 26/2/2**

Moved: Deputy Mayor Toshio Nakata

Seconded: Mayor Elsie Seriat

That the minutes of the Ordinary Council Meeting held on 27 January 2026 be confirmed.

**CARRIED**

**8.2 SPECIAL COUNCIL MEETING – 2 FEBRUARY 2026****RECOMMENDATION Min. 26/2/3**

Moved: Mayor Elsie Seriat

Seconded: Deputy Mayor Toshio Nakata

That the minutes of the Special Council Meeting held on 2 February 2026 be confirmed.

**CARRIED**

**9 BUSINESS ARISING**

CEO referred to the 'Matters for Action following a Council Meeting' document provided to Councillors with updated information on the 27 January 2026 Council Meeting.

**10 NOTIFIED MOTIONS**

*Nil*

**11 COUNCILLORS REPORTS****11.1 COUNCILLOR'S MONTHLY REPORTS****RECOMMENDATION Min. 26/2/4**

Moved: Cr Thomas Loban

Seconded: Deputy Mayor Toshio Nakata

That the activities contained in the Mayoral monthly report be endorsed by Council.

**CARRIED**

**12 EXECUTIVE SERVICES REPORTS****12.1 CHIEF EXECUTIVE OFFICER'S MONTHLY REPORT****RECOMMENDATION Min. 26/2/5**

Moved: Deputy Mayor Toshio Nakata

Seconded: Cr Thomas Loban

That the activities contained in the Chief Executive Officer's monthly report be endorsed by Council.

**CARRIED**

**ATTENDANCE:** Dorene Riley (Finance Manager) joined the Council Meeting at 9.59am to present Item 12.2 - Corporate and Community Services Financial Report.

**12.2 CORPORATE AND COMMUNITY SERVICES – FINANCIAL REPORT****RECOMMENDATION Min. 26/2/6**

Moved: Cr Thomas Loban

Seconded: Deputy Mayor Toshio Nakata

That Council:

- Note the Financial Report for the period ended January 2026 as presented.
- Note the attachments for the period ended January 2026 listed as follows:
  1. Cash Position January 2026
  2. Income and Expenditure Airport January 2026
  3. Income and Expenditure all of Council January 2026
  4. Revenue Graph Actual vs Budget January 2026
  5. Expenses Graph Actual vs Budget January 2026
  6. Statement of Financial Position January 2026

**CARRIED**

**DEPARTURE:** Dorene Riley (Finance Manager) departed the Council Meeting at 10:25am.

**ADJOURNMENT:** The meeting is adjourned for Morning Tea at 10:25am and resumed 10:49am.

**12.3 CORPORATE AND COMMUNITY SERVICES****RECOMMENDATION Min. 26/2/7**

Moved: Mayor Elsie Seriat

Seconded: Cr Thomas Loban

That Council note the Corporate and Community Services Report for January 2026 as presented.

**CARRIED****12.4 TORRES STRAIT NAIDOC AWARDS 2026****RECOMMENDATION Min. 26/2/8**

Moved: Cr Thomas Loban

Seconded: Deputy Mayor Toshio Nakata

That Council note the 2026 Torres Strait NAIDOC Awards will be held on Friday, 17<sup>th</sup> July 2026, during National NAIDOC Week.

**CARRIED****12.5 OPERATIONAL WORKS PROGRAM REPORT****RECOMMENDATION Min. 26/2/9**

Moved: Deputy Mayor Toshio Nakata

Seconded: Cr Thomas Loban

That Council receives and notes the Operational Works Update Report for January 2026.

**CARRIED****12.6 EXTENSION APPLICATION – DEVELOPMENT PERMIT FOR A MATERIAL CHANGE OF USE – ACCOMMODATION BUILDING – IDAS 17/11 – MATTHEW BIRNEY C/ URBAN SYNC PTY LTD – 138-140 DOUGLAS STREET, THURSDAY ISLAND****RECOMMENDATION Min. 26/2/10**

Moved: Deputy Mayor Toshio Nakata

Seconded: Mayor Elsie Seriat

That Torres Shire Council approve the request to extend the currency period of the Development Permit for Material Change of Use – Accommodation Building (18 rooms) on land located at 138-140 Douglas Street, Thursday Island, formally described as Lot 1 on RP737855.

- (a) A two (2) year extension of the currency period for Stage 1, with the approval lapsing on 23 February 2028.

**CARRIED**

**12.7 CAPITAL WORKS PROGRAM REPORT****RECOMMENDATION Min. 26/2/11**

Moved: Mayor Elsie Seriat

Seconded: Deputy Mayor Toshio Nakata

That Council receives and notes the Capital Works Program Report for February 2026.

**CARRIED****13 LATE ITEMS***Nil***14 CONFIDENTIAL REPORTS****RECOMMENDATION**That Council consider the confidential report(s) listed below in a meeting closed to the public in accordance with Regulation s.254J of the *Local Government Regulation 2012*:

14.1 Consideration of Request for Road Reserve Purchase 2 Stephen Street, Thursday Island

Time: 11:57am

**RECOMMENDATION Min. 26/2/12**

Moved: Cr Thomas Loban

Seconded: Deputy Mayor Toshio Nakata

That Council go into In Committee.

**CARRIED**

Time: 12:10pm

**RECOMMENDATION Min. 26/2/13**

Moved: Cr Thomas Loban

Seconded: Mayor Elsie Seriat

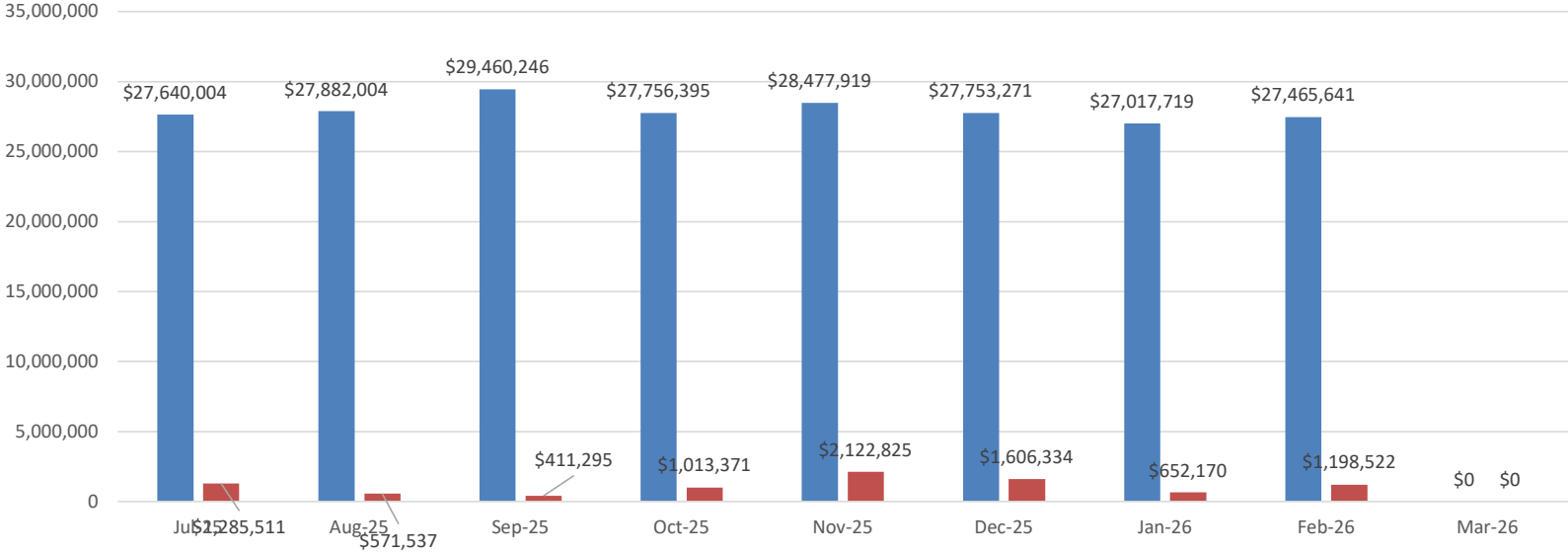
That Council come out of In Committee.

**CARRIED**

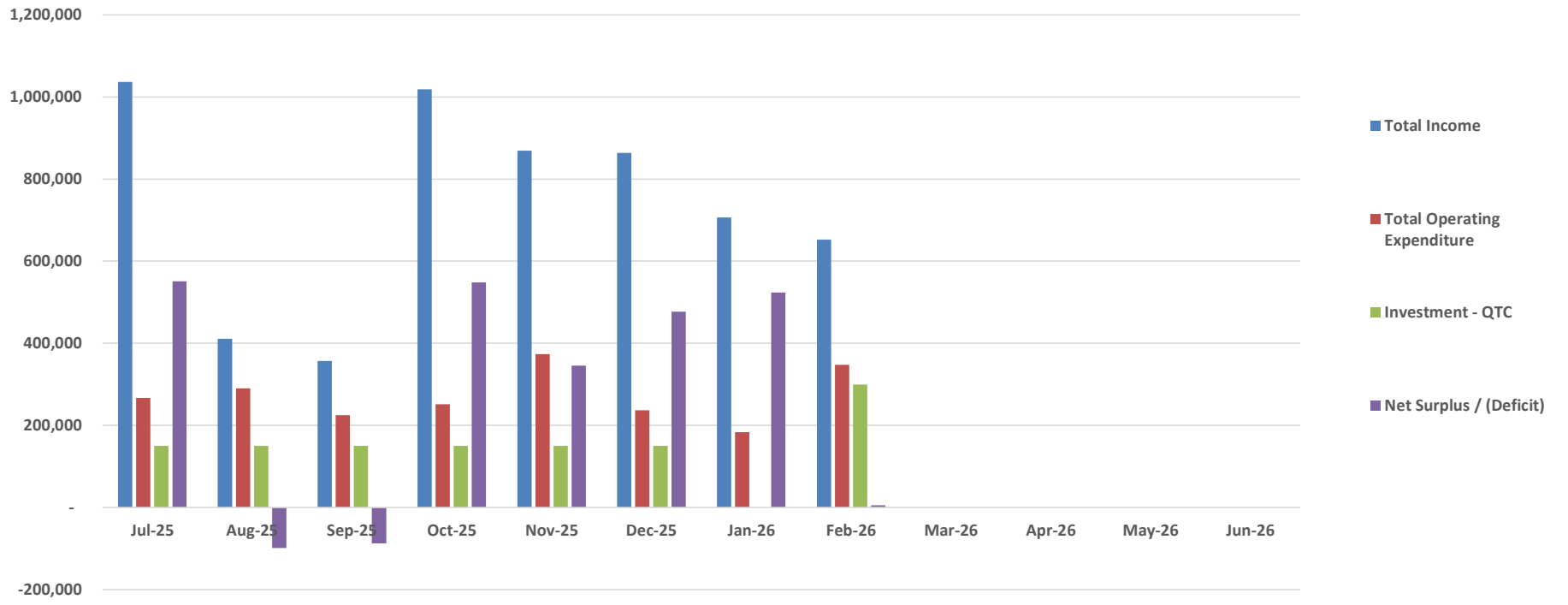


### Cash Position YTD 28 February 2026

■ Net Cash Balance  
■ Unrestricted Cash



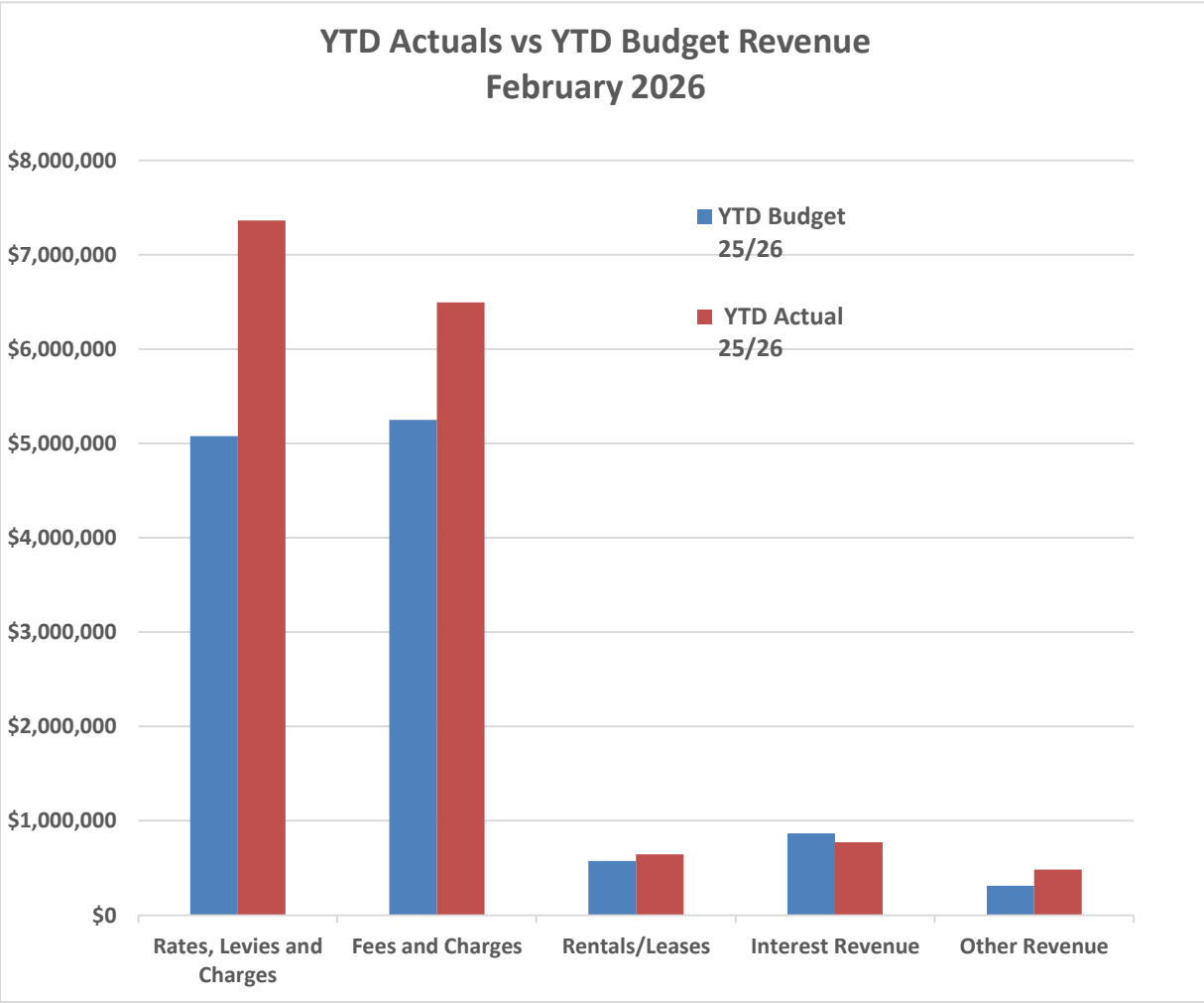
### Airport Income and Expenditure incl Investment 2025-26



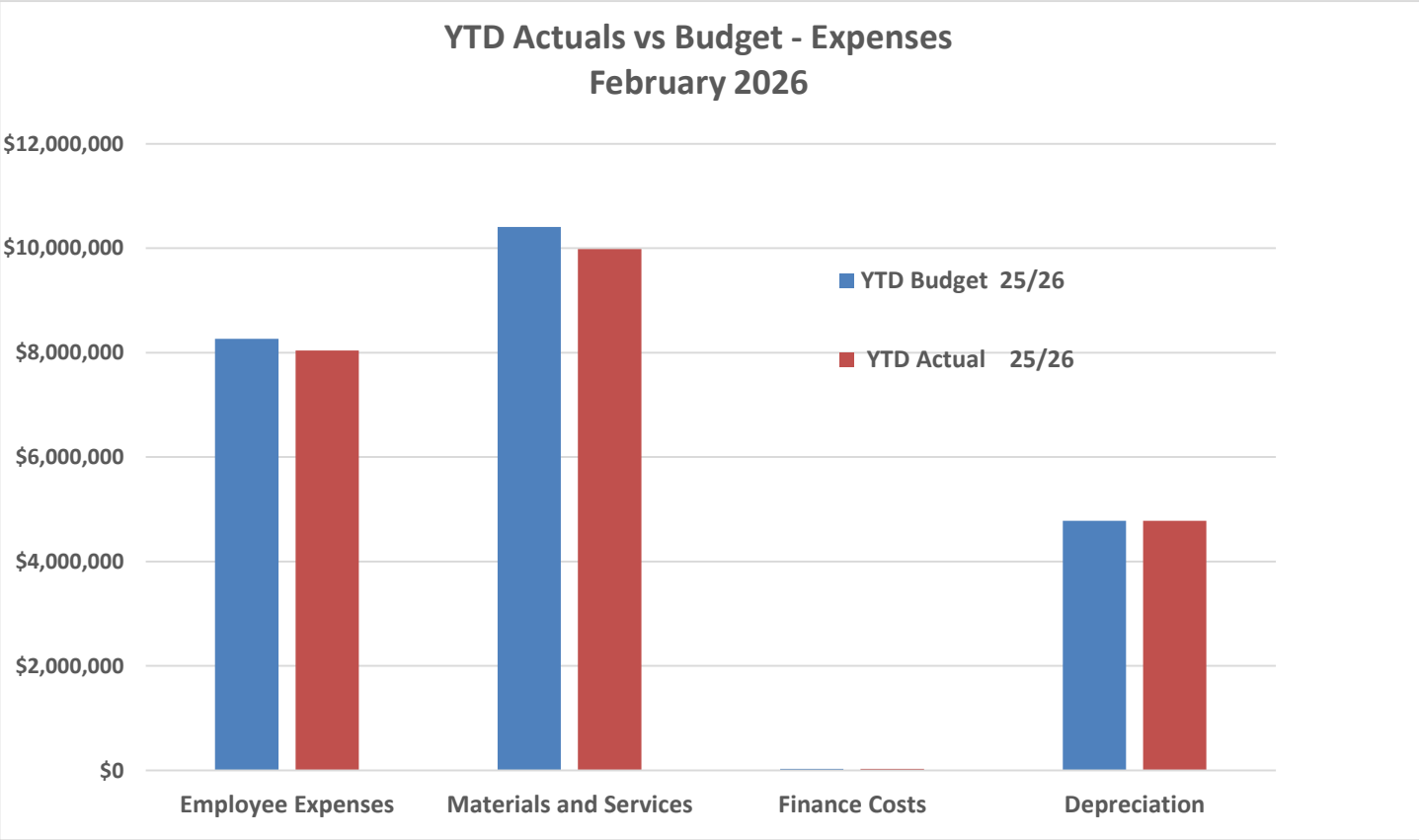
**TORRES SHIRE COUNCIL**  
**STATEMENT OF COMPREHENSIVE INCOME**  
For the period ended 28 February 2026

	YTD Actual 25/26	Annual Budget to June 2026	YTD Budget 25/26
<b><i>Income</i></b>			
Rates, Levies and Charges	\$ 7,363,448	\$ 7,614,505	\$ 5,076,337
Fees and Charges	\$ 6,494,492	\$ 7,872,339	\$ 5,248,226
Rentals/Leases	\$ 645,100	\$ 859,586	\$ 573,057
Interest Revenue	\$ 772,893	\$ 1,300,000	\$ 866,667
Other Revenue	\$ 482,464	\$ 466,184	\$ 310,789
Operating Grants/Subsidies	\$ 5,720,043	\$ 10,433,113	\$ 6,955,409
<b><u>Total Operating Income</u></b>	<b><u>\$ 21,478,440</u></b>	<b><u>\$ 28,545,727</u></b>	<b><u>\$ 19,030,485</u></b>
<b><i>Capital Revenue</i></b>			
Grants, subsidies, contributions and donations	\$ 4,311,406	\$ 9,361,673	\$ 6,241,115
<b><u>Total Income</u></b>	<b><u>\$ 25,789,846</u></b>	<b><u>\$ 37,907,400</u></b>	<b><u>\$ 25,271,600</u></b>
<b><i>Operating Expenditure</i></b>			
Employee Expenses	\$ 8,037,554	\$ 12,392,963	\$ 8,261,975
Materials and Services	\$ 9,979,751	\$ 15,605,301	\$ 10,403,534
Finance Costs	\$ 29,093	\$ 46,473	\$ 30,982
Depreciation	\$ 4,778,059	\$ 7,167,089	\$ 4,778,059
<b><u>Total Operating expenditure</u></b>	<b><u>\$ 22,824,457</u></b>	<b><u>\$ 35,211,826</u></b>	<b><u>\$ 23,474,551</u></b>
<b><u>Operating Result</u></b>	<b><u>-\$ 1,346,018</u></b>	<b><u>-\$ 6,666,099</u></b>	<b><u>-\$ 4,444,066</u></b>
<b>Net Surplus/(Deficit)</b>	<b><u>\$ 2,965,389</u></b>	<b><u>\$ 2,695,574</u></b>	<b><u>\$ 1,797,049</u></b>

# TORRES SHIRE COUNCIL



# TORRES SHIRE COUNCIL



**TORRES SHIRE COUNCIL**  
**STATEMENT OF FINANCIAL POSITION**  
as at 31 February 2026

	Actual Balance 25/26	Original Budget 30 June 2026
<b><i>Current Assets</i></b>		
Cash & cash equivalents	\$ 27,465,641	\$ 11,725,398
Trade & other receivables	\$ 11,748,024	\$ 3,250,866
Inventory	\$ 1,453,843	\$ 828,624
<b><u>Total Current Assets</u></b>	<b><u>\$ 40,667,507</u></b>	<b><u>\$ 15,804,888</u></b>
<b><i>Non Current Assets</i></b>		
Property, plant & equipment	\$ 244,116,371	\$ 252,975,585
Right of use assets	\$ 151,789	\$ 100,000
<b><u>Total Non Current Assets</u></b>	<b><u>\$ 244,268,160</u></b>	<b><u>\$ 253,075,585</u></b>
<b>Total Assets</b>	<b><u>\$ 284,935,667</u></b>	<b><u>\$ 268,880,473</u></b>
<b><i>Current Liabilities</i></b>		
Trade & other payables	\$ 1,279,961	\$ 1,756,988
Contract liabilities	\$ 10,112,094	\$ 6,817,442
Provisions	\$ 2,326,368	\$ 768,728
<b><u>Total Current Liabilities</u></b>	<b><u>\$ 13,718,423</u></b>	<b><u>\$ 9,343,158</u></b>
<b><i>Non Current Liabilities</i></b>		
NC Lease Liabilities	\$ 1,188,881	\$ -
NC Provision	\$ 151,560	\$ 1,158,835
<b><u>Total Non Current Liabilities</u></b>	<b><u>\$ 1,340,441</u></b>	<b><u>\$ 1,158,835</u></b>
<b>Total Liabilities</b>	<b><u>\$ 15,058,864</u></b>	<b><u>\$ 10,501,993</u></b>
<b>Net Assets</b>	<b>\$ 269,876,803</b>	<b>\$ 258,378,480</b>
<b><i>Equity</i></b>		
Asset Revaluation Surplus	\$ 133,464,508	\$ 123,945,607
Accumulated Surplus/Deficit	\$ 136,409,795	\$ 134,432,873
<b>Total Equity</b>	<b><u>\$ 269,876,803</u></b>	<b><u>\$ 258,378,480</u></b>

**GENERAL NOTES**

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

**ABBREVIATIONS:**

- A.F.L. ABOVE FLOOR LEVEL
- A.F.F.L. ABOVE FINISHED FLOOR LEVEL
- APPROX. APPROXIMATE
- B BENCH
- BH BULKHEAD
- BR BROOM CUPBOARD
- BTH BATH TUB
- C.O.S. CONFIRM ON SITE
- CPD CUPBOARD
- CT COOKTOP
- CL CLOTHESLINE
- DFW DRY FLOOR WASTE
- DIA. DIAMETER
- DN DOWN
- DP DOWNPIPE
- DWR DRAWERS
- DW DISHWASHER
- FF FROG FLAP
- FW FLOOR WASTE
- HC HOSE COCK
- LN LINEN
- MSB MAIN SWITCH BOARD
- N.S.L. NATURAL SURFACE LEVEL
- OA OVERALL
- O/H OVERHANG
- O/HC OVERHEAD CUPBOARD
- ORG OVERFLOW RELIEF GULLY
- OV OVEN
- PAD BUILDING PAD
- PIT STORMWATER PIT
- PTY PANTRY
- RA RODDING ACCESS
- REF REFRIGERATOR SPACE
- ROBE WARDROBE
- RV ROOF VENT
- SA SMOKE ALARM
- SB SPLASH BACK
- S/B SETBACK
- SH SHELF FIXED
- SHR SHOWER
- S-HWU SOLAR HOT WATER UNIT
- SJ SAW JOINT
- SK SINK
- SVP 50Ø SOIL VENT PIPE
- TUB LAUNDRY TUB
- VB VANITY BASIN
- WC TOILET
- WCJ WALL CONTROL JOINT
- WM WASHING MACHINE
- U.N.O. UNLESS NOTED OTHERWISE

**DRAWING LIST**

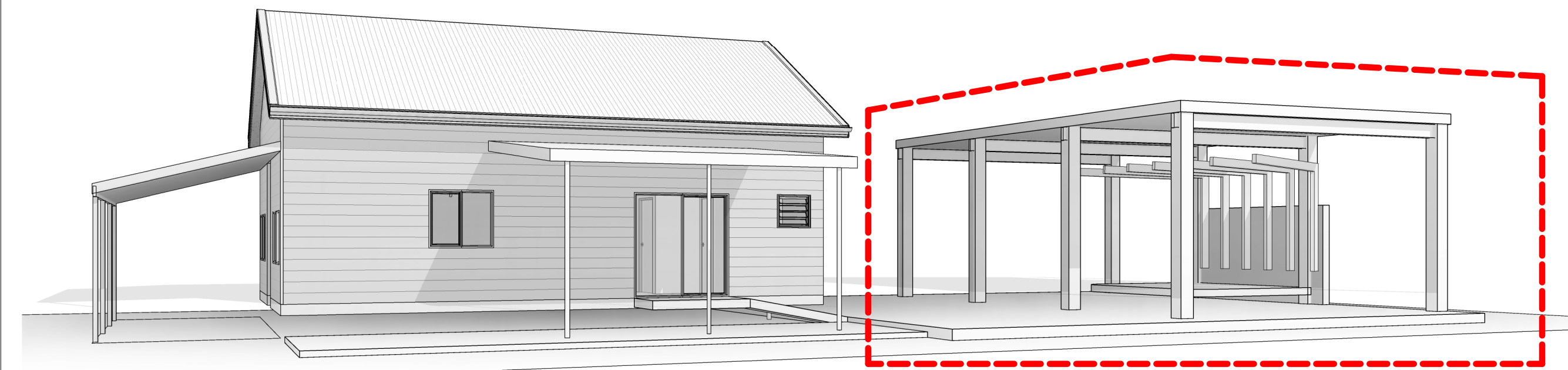
NUMBER	DESCRIPTION	ISSUE DATE	REVISION No.
SK01	COVER SHEET	21/01/2026	4
SK02	SITE PLAN	21/01/2026	4
SK03	GROUND FLOOR PLAN	21/01/2026	4
SK04	FIRST FLOOR PLAN	21/01/2026	4
SK05	ROOF PLAN	21/01/2026	4
SK06	ELEVATIONS	21/01/2026	4
SK07	SECTION A-A	21/01/2026	4

# ISLAND STARS ADDITIONS

## 42 DOUGLAS STREET, THURSDAY ISLAND

**GENERAL NOTES:**

1. SCOPE EXTENT TO BE CONFIRMED/ VERIFIED PRIOR TO COMMENCING ANY WORK ON SITE. ALL MEASUREMENTS TO BE CONFIRMED/ VERIFIED ON SITE BY THE MANAGING CONTRACTOR.
2. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER. THE MANUFACTURER SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF REVIEWED SHOP DRAWINGS SIGNED BY THE RELEVANT CONSULTANT.
3. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATION (WHERE SUPPLIED) AND ALL CONSULTANT DRAWINGS AND SPECIFICATIONS.
5. ALL BUILDING WORK SHALL COMPLY WITH ALL THE LOCAL AUTHORITY REGULATIONS AND ALL RELEVANT STANDARDS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHINGS, TANKING AND DPC REQUIRED TO PREVENT THE ENTRY OF MOISTURE INTO THE BUILDING.
7. PRIOR TO COMMENCEMENT OF WORK ON SITE ALL RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE LOCATION OF ALL POSSIBLE UNDERGROUND SERVICES.
8. PRIOR TO SETOUT & CONSTRUCTION OF ALL CONCRETE WALLS, CONFIRM ALL DIMENSIONS OF WALL THICKNESSES ON THESE DRAWINGS AGAINST THE LATEST STRUCTURAL ENGINEER'S DRAWINGS & ALL SUBCONTRACTOR DRAWINGS.
9. CROSS REFERENCE ALL DOOR OPENINGS AS DIMENSIONED WITH DOOR SCHEDULE PRIOR TO CONSTRUCTION.



**STAGE 1**

**ASSESSMENT ISSUE - STAGE 1**

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
 2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
 3. DO NOT SCALE FROM DRAWINGS.  
 4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
 DRAWING IS COPYRIGHT © NEVELE ARCHITECTS AND MUST NOT BE ALTERED OR REPLICATED.

# PROPOSED ADDITIONS

## ISLAND STARS

42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**

ABN 31 639 960 704 | Reg No. 5977  
 m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
 a shop 5, 116 -118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)

DRAWN BY:	<b>CD</b>
SCALE:	<b>N.T.S.</b>
START DATE:	<b>OCTOBER 2023</b>
REVISION DATE:	21/01/2026

JOB No:	<b>11-1702</b>
SHEET No:	<b>SK01</b>
REV No:	<b>4</b>

**SMOKE DETECTORS:**

REFER PART 9.5.4. OF THE NCC VOL 2: SMOKE ALARMS IN THE DWELLING MUST:  
 i) BE PHOTOELECTRIC (AS 3786-2014); AND  
 ii) NOT ALSO CONTAIN AN IONISATION SENSOR; AND  
 iii) BE HARDWIRED TO THE MAINS POWER SUPPLY WITH A SECONDARY POWER SOURCE (I.E. BATTERY);  
 iv) BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ACTIVATE TOGETHER. SMOKE ALARMS MUST BE INSTALLED ON EACH STOREY:  
 i) IN EACH BEDROOM; AND  
 ii) IN HALLWAYS WHICH CONNECT BEDROOMS AND THE REST OF THE DWELLING; OR  
 iii) IF THERE IS NO HALLWAY, BETWEEN THE BEDROOMS AND OTHER PARTS OF THE STOREY;  
 iv) IF THERE ARE NO BEDROOMS ON A STOREY AT LEAST ONE SMOKE ALARM MUST BE INSTALLED IN THE MOST LIKELY PATH OF TRAVEL TO EXIT THE DWELLING. WHERE PRACTICABLE SMOKE ALARMS MUST BE PLACED ON THE CEILING.

SMOKE ALARMS MUST NOT BE PLACED:  
 i) WITHIN 300MM OF A CORNER OF A CEILING AND A WALL;  
 ii) WITHIN 300MM OF A LIGHT FITTING;  
 iii) WITHIN 400MM OF AN AIR-CONDITIONING VENT;  
 iv) WITHIN 400MM OF THE BLADES OF A CEILING FAN.

THERE ARE SPECIAL REQUIREMENTS FOR STAIRWAYS, SLOPING CEILINGS, AND CEILINGS WITH EXPOSED BEAMS. SPECIFIC REQUIREMENTS WILL BE EXPLAINED IN THE BUILDING FIRE SAFETY REGULATION 2008.  
 IF IMPRACTICAL FOR THE PRESCRIBED LOCATION REQUIREMENTS TO BE MET (E.G. MAY BE AFFECTED BY STEAM FROM SHOWER OR FUMES FROM COOKING), THE OWNER MAY PUT THE ALARM AT ANOTHER LOCATION THAT WILL PROVIDE A WARNING TO OCCUPANTS OF THE DWELLING.

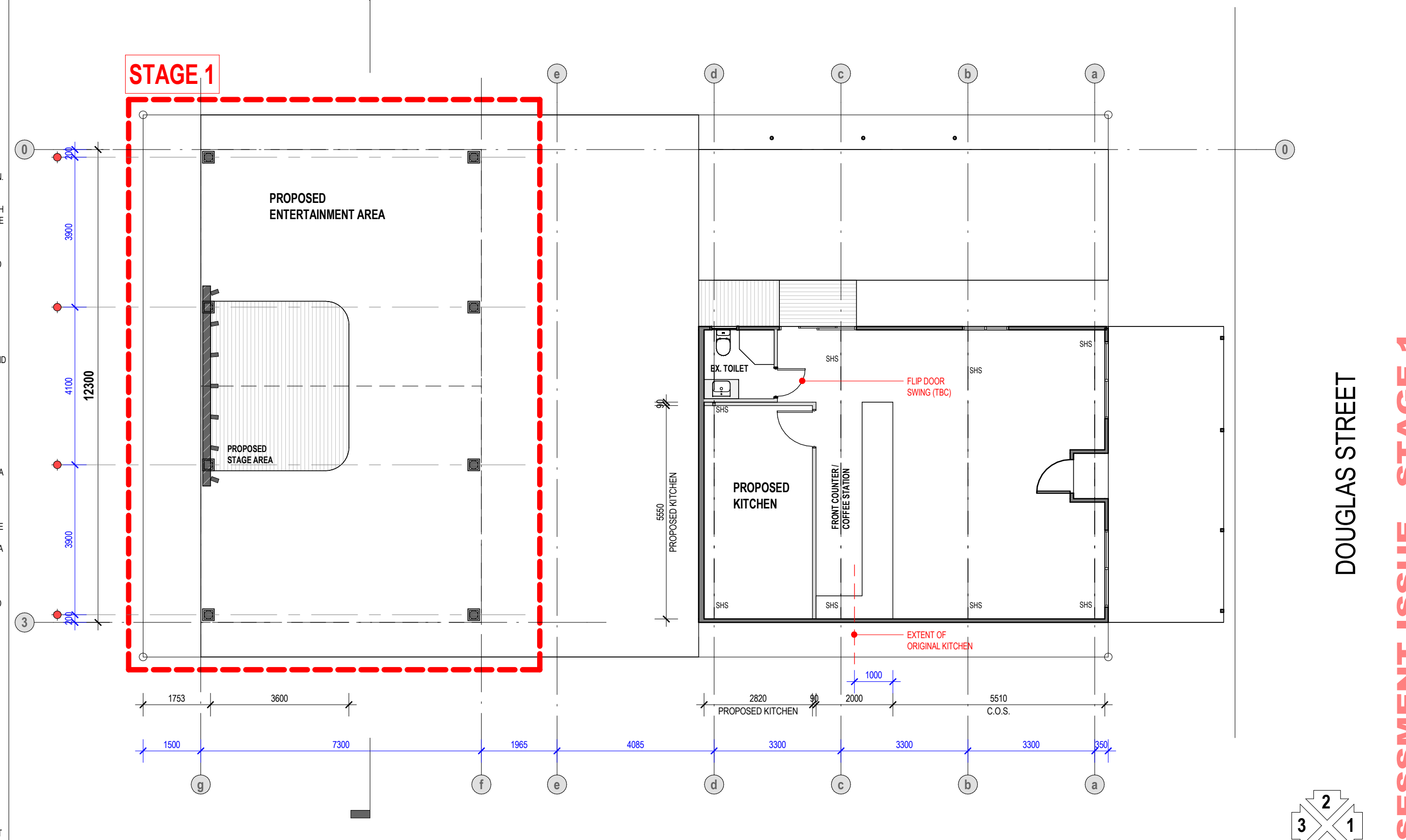
**WATERPROOFING NOTES:**

1. WET AREA WATERPROOFING TO COMPLY WITH PART F1.7 OF THE NCC VOL 1 AND AS3740. TILES AND WETSTOP ANGLES REQUIRED AT DOORWAYS (WET AREAS) OR WATERPROOF VINYL TESTED IN ACCORDANCE WITH AS3740 TO BE USED.  
 2. WATERPROOFING TO EXTEND A MINIMUM OF 1500mm FROM WHERE THE SHOWER POINT MEETS THE WALL.

**OPERATION OF LATCH:**

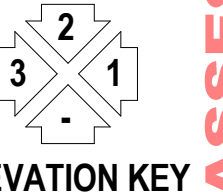
NCC 2019 BCA VOLUME ONE PART D2.21(A)  
 a) A DOOR IN A REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT MUST BE READILY OPENABLE WITHOUT A KEY FROM EACH SIDE THAT FACES A PERSON SEEKING EGRESS BY:  
 (i) A SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1100mm FROM THE FLOOR AND IF SERVING AN AREA REQUIRED TO BE ACCESSIBLE BY PART D3 - (A) BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING THE OPERATION OF THE LATCH; AND (B) HAVE A CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE AT THE CENTRE GRIP SECTION OF THE HANDLE OF NOT LESS THEN 35mm AND NOT MORE THEN 45mm; OR  
 (ii) A SINGLE HAND PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1.2m FROM THE FLOOR; AND  
 (iii) WHERE THE LATCH OPERATION DEVICE REFERRED TO IN (ii) IS NOT LOCATED ON THE DOOR LEAF ITSELF - (A) MANUAL CONTROLS TO POWER-OPERATED DOORS MUST BE AT LEAST 25mm WIDE, PROUD OF THE SURROUNDING SURFACE AND LOCATED - (aa) NOT LESS THAN 500mm FROM AN INTERNAL CORNER; AND (bb) FOR A HINGED DOOR, BETWEEN 1m AND 2m FROM THE DOOR LEAF IN ANY POSITION; AND (cc) FOR A SLIDING DOOR, WITHIN 2m OF THE DOORWAY AND CLEAR OF A SURFACE MOUNTED DOOR IN THE OPEN POSITION.  
 (B) BRAILLE AND TACTILE SIGNAGE COMPLYING WITH CLAUSE 3 AND 6 OF SPECIFICATION D3.6 MUST IDENTIFY THE LATCH OPERATION DEVICE.

AREA SCHEDULE	
ROOM NAME	AREA
EXISTING COMMERCIAL	80.94 m <sup>2</sup>
PROPOSED ACCOMMODATION	89.10 m <sup>2</sup>
PROPOSED ENTERTAINMENT AREA	89.79 m <sup>2</sup>
TOTAL AREA	259.83 m <sup>2</sup>

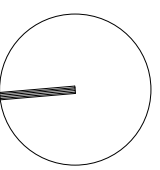


**GROUND FLOOR**  
 SCALE 1 : 100

PRINT IN COLOUR (A3)



ELEVATION KEY



DOUGLAS STREET

ASSESSMENT ISSUE - STAGE 1

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
 2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
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PROPOSED ADDITIONS

ISLAND STARS

42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

NEVELE

ABN 31 639 960 704 | Reg No. 5977  
 m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
 a shop 5, 116-118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)

DRAWN BY:	<b>CD</b>
SCALE:	<b>1 : 100</b>
START DATE:	<b>OCTOBER 2023</b>
REVISION DATE:	21/01/2026

JOB No:	<b>11-1702</b>
SHEET No:	<b>SK03</b>
REV No:	<b>4</b>

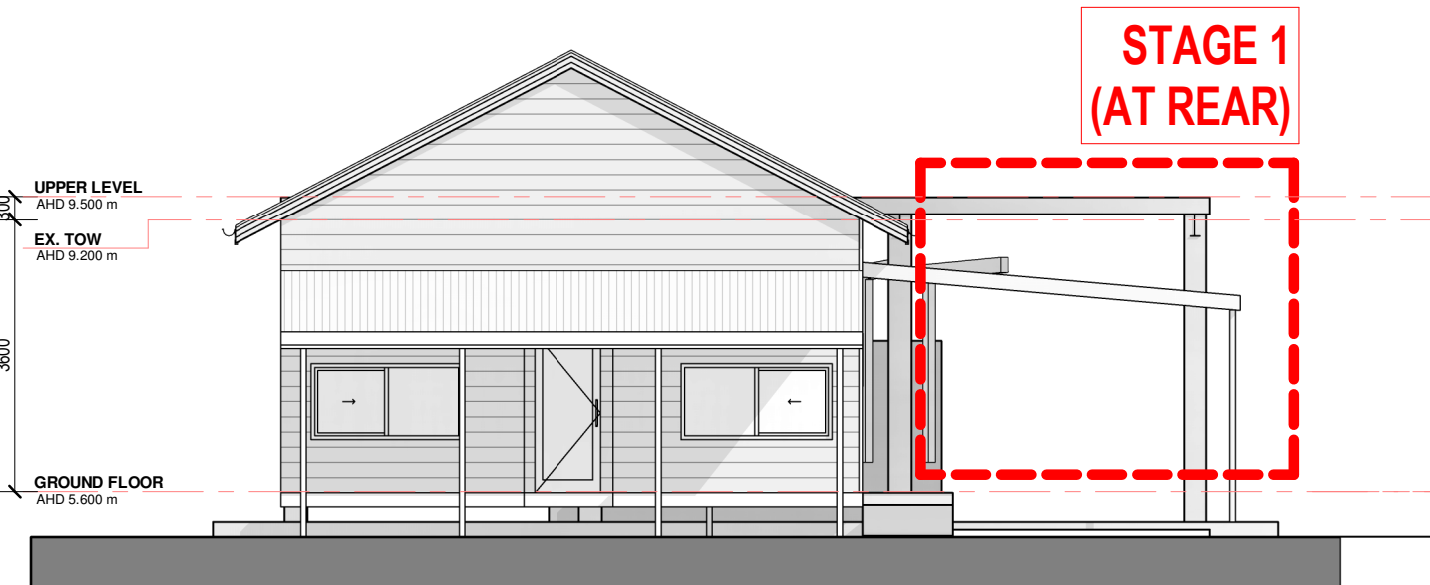
**NOTES:**

1. EYEBROW FLASHINGS TO BE INSTALLED ABOVE THE HEADS OF ALL EXPOSED WINDOW OPENINGS.
2. STAIRS CONSTRUCTION TO COMPLY WITH NCC VOL 1, PART D3D14 FOR THE COMPOSITION OF THE STRINGERS, TREAD TYPES, GOINGS AND RISERS.
3. SLIP RESISTANCE REQUIREMENTS FOR STAIR TREADS IN REFERENCE TO NCC VOL 1, TABLE D3D15 SLIP-RESISTANCE CLASSIFICATION.
4. BALUSTRADE BE CONSTRUCTED IN ACCORDANCE WITH NCC 2022, PART D3D17, STRUCTURAL DESIGN IN ACCORDANCE WITH AS1107.1
5. FALL PROTECTION ON WINDOWS TO BE IN ACCORDANCE WITH NCC REQUIREMENTS PART D3D29.
6. ROOFING TO BE INSTALLED TO PREVENT WATER PENETRATION INTO THE BUILDING STRUCTURE. (NCC VOL 2 PART 7.2).

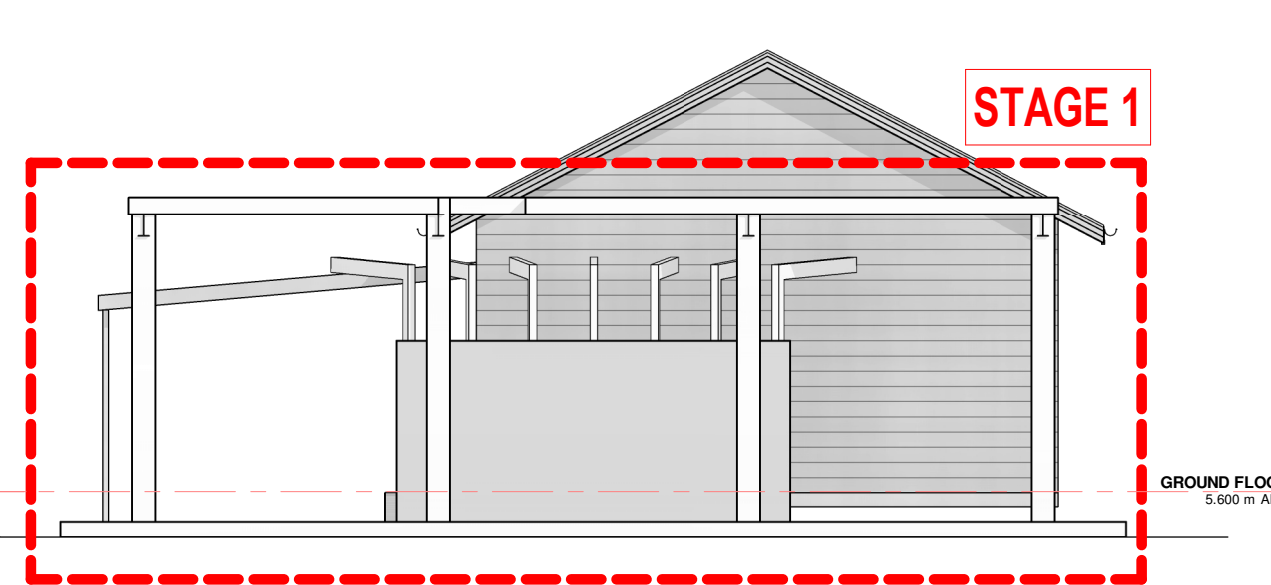
**NON-COMBUSTIBLE ELEMENTS:**

EXTERNAL WALLS AND ANCILLARY BUILDING ELEMENTS (AWNINGS / WINDOW HOODS, BALUSTRADE, AND SCREENS) TO BE CONSTRUCTED FROM NON-COMBUSTIBLE MATERIALS.

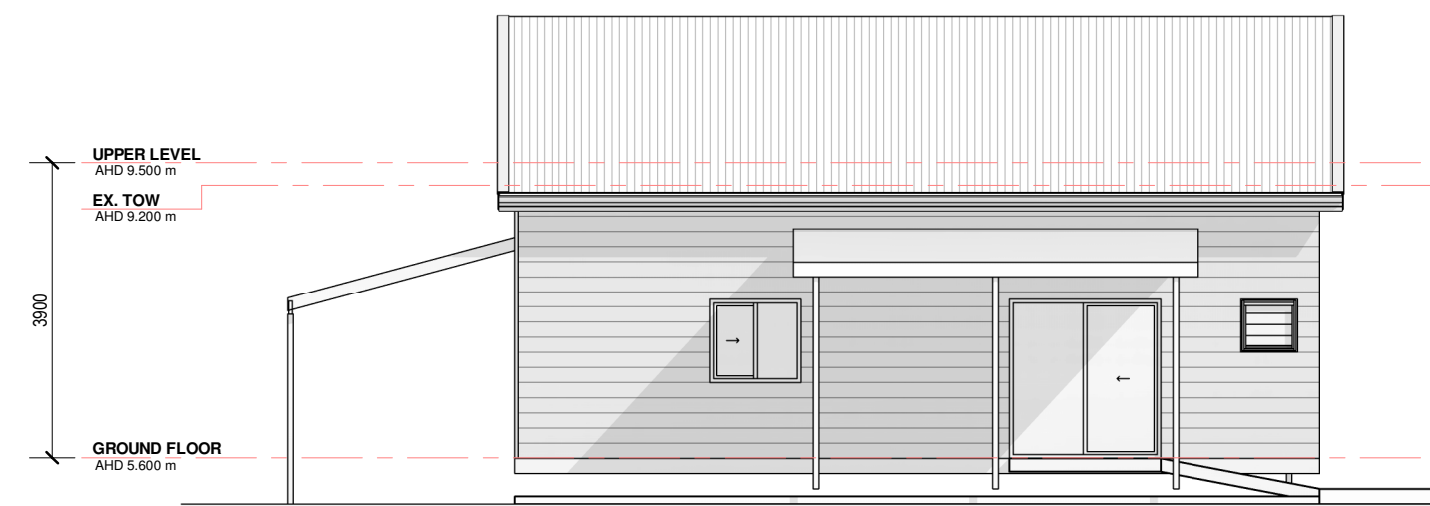
**ROOF: PITCH 25° / OVERHANG 600mm**



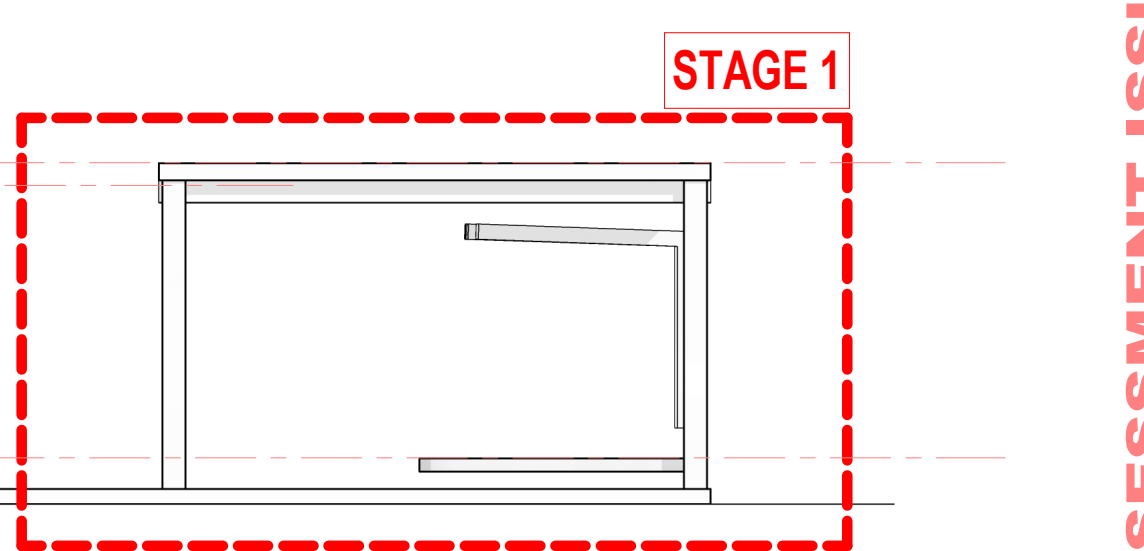
**ELEVATION 1**  
SCALE 1 : 100



**ELEVATION 3**  
SCALE 1 : 100



**ELEVATION 2**  
SCALE 1 : 100



PRINT IN COLOUR (A3)

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**PROPOSED ADDITIONS**  
**ISLAND STARS**  
 42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**  
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 a shop 5, 116 -118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
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4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)

DRAWN BY:	<b>CD</b>
SCALE:	<b>1 : 100</b>
START DATE:	<b>OCTOBER 2023</b>
REVISION DATE:	21/01/2026

JOB No:	<b>11-1702</b>
SHEET No:	<b>SK06</b>
REV No:	<b>4</b>

**ASSESSMENT ISSUE - STAGE 1**

**GENERAL NOTES**

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

**ABBREVIATIONS:**

- A.F.L. ABOVE FLOOR LEVEL
- A.F.F.L. ABOVE FINISHED FLOOR LEVEL
- APPROX. APPROXIMATE
- B BENCH
- BH BULKHEAD
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- WCJ WALL CONTROL JOINT
- WM WASHING MACHINE
- U.N.O. UNLESS NOTED OTHERWISE

**GENERAL NOTES:**

1. SCOPE EXTENT TO BE CONFIRMED/ VERIFIED PRIOR TO COMMENCING ANY WORK ON SITE. ALL MEASUREMENTS TO BE CONFIRMED/ VERIFIED ON SITE BY THE MANAGING CONTRACTOR.
2. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER. THE MANUFACTURER SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF REVIEWED SHOP DRAWINGS SIGNED BY THE RELEVANT CONSULTANT.
3. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATION (WHERE SUPPLIED) AND ALL CONSULTANT DRAWINGS AND SPECIFICATIONS.
5. ALL BUILDING WORK SHALL COMPLY WITH ALL THE LOCAL AUTHORITY REGULATIONS AND ALL RELEVANT STANDARDS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHINGS, TANKING AND DPC REQUIRED TO PREVENT THE ENTRY OF MOISTURE INTO THE BUILDING.
7. PRIOR TO COMMENCEMENT OF WORK ON SITE ALL RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE LOCATION OF ALL POSSIBLE UNDERGROUND SERVICES.
8. PRIOR TO SETOUT & CONSTRUCTION OF ALL CONCRETE WALLS, CONFIRM ALL DIMENSIONS OF WALL THICKNESSES ON THESE DRAWINGS AGAINST THE LATEST STRUCTURAL ENGINEER'S DRAWINGS & ALL SUBCONTRACTOR DRAWINGS.
9. CROSS REFERENCE ALL DOOR OPENINGS AS DIMENSIONED WITH DOOR SCHEDULE PRIOR TO CONSTRUCTION.

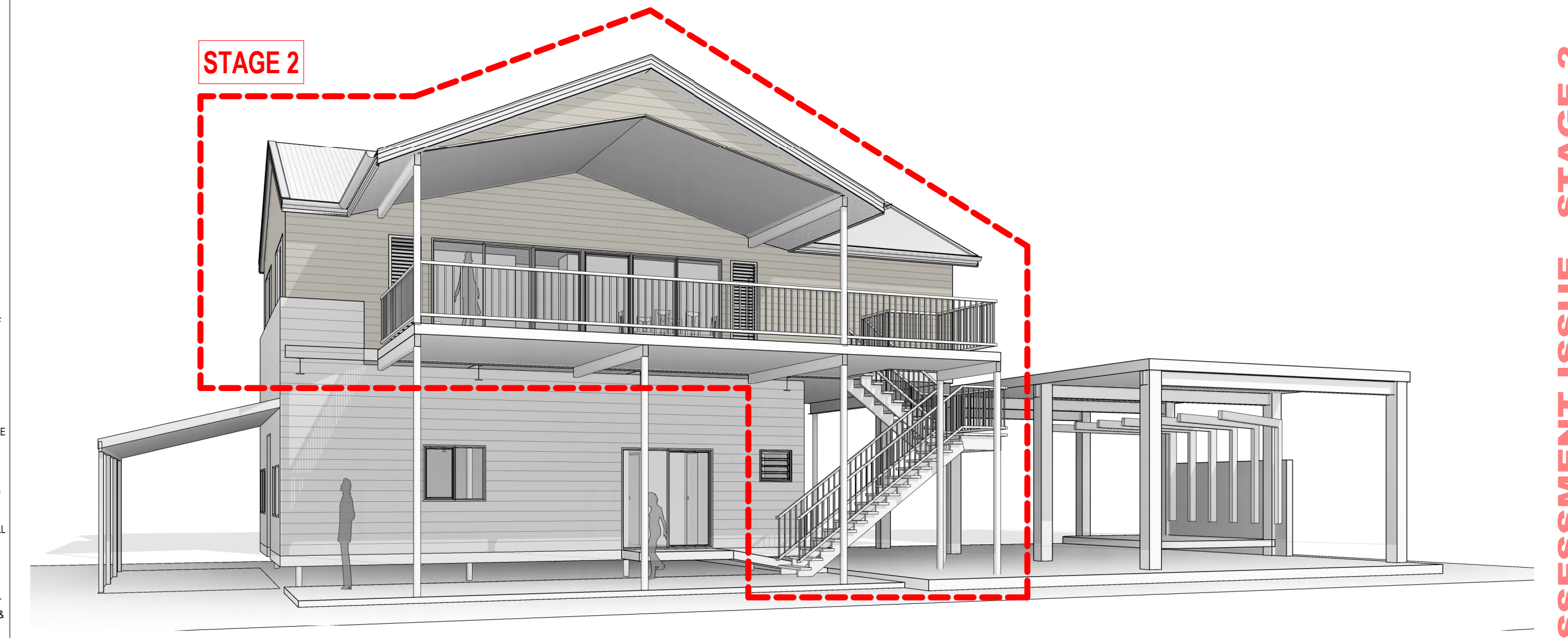
1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
 2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
 3. DO NOT SCALE FROM DRAWINGS.  
 4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
 DRAWING IS COPYRIGHT © NEVELE ARCHITECTS AND MUST NOT BE ALTERED OR REPLICATED.

**DRAWING LIST**

NUMBER	DESCRIPTION	ISSUE DATE	REVISION No.
SK01	COVER SHEET	21/01/2026	5
SK02	SITE PLAN	21/01/2026	5
SK03	GROUND FLOOR PLAN	21/01/2026	5
SK04	FIRST FLOOR PLAN	21/01/2026	5
SK05	ROOF PLAN	21/01/2026	5
SK06	ELEVATIONS	21/01/2026	5
SK07	SECTION A-A	21/01/2026	5

# ISLAND STARS ADDITIONS

## 42 DOUGLAS STREET, THURSDAY ISLAND



**ASSESSMENT ISSUE - STAGE 2**

### PROPOSED ADDITIONS

#### ISLAND STARS

42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**

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 a shop 5, 116 -118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)
5	21/01/2026	ASSESSMENT ISSUE C (STAGE 2)

DRAWN BY:	<b>CD</b>	JOB No:	<b>11-1702</b>
SCALE:	<b>N.T.S.</b>	SHEET No:	<b>SK01</b>
START DATE:	<b>OCTOBER 2023</b>	REV No:	<b>5</b>
REVISION DATE:	21/01/2026		

**SMOKE DETECTORS:**

REFER PART 9.5.4. OF THE NCC VOL 2: SMOKE ALARMS IN THE DWELLING MUST:  
 i) BE PHOTOELECTRIC (AS 3786-2014); AND  
 ii) NOT ALSO CONTAIN AN IONISATION SENSOR; AND  
 iii) BE HARDWIRED TO THE MAINS POWER SUPPLY WITH A SECONDARY POWER SOURCE (I.E. BATTERY);  
 iv) BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ACTIVATE TOGETHER. SMOKE ALARMS MUST BE INSTALLED ON EACH STOREY:  
 i) IN EACH BEDROOM; AND  
 ii) IN HALLWAYS WHICH CONNECT BEDROOMS AND THE REST OF THE DWELLING; OR  
 iii) IF THERE IS NO HALLWAY, BETWEEN THE BEDROOMS AND OTHER PARTS OF THE STOREY;  
 iv) IF THERE ARE NO BEDROOMS ON A STOREY AT LEAST ONE SMOKE ALARM MUST BE INSTALLED IN THE MOST LIKELY PATH OF TRAVEL TO EXIT THE DWELLING. WHERE PRACTICABLE SMOKE ALARMS MUST BE PLACED ON THE CEILING.

SMOKE ALARMS MUST NOT BE PLACED:  
 i) WITHIN 300MM OF A CORNER OF A CEILING AND A WALL;  
 ii) WITHIN 300MM OF A LIGHT FITTING;  
 iii) WITHIN 400MM OF AN AIR-CONDITIONING VENT;  
 iv) WITHIN 400MM OF THE BLADES OF A CEILING FAN.

THERE ARE SPECIAL REQUIREMENTS FOR STAIRWAYS, SLOPING CEILINGS, AND CEILINGS WITH EXPOSED BEAMS. SPECIFIC REQUIREMENTS WILL BE EXPLAINED IN THE BUILDING FIRE SAFETY REGULATION 2008.  
 IF IMPRACTICAL FOR THE PRESCRIBED LOCATION REQUIREMENTS TO BE MET (E.G. MAY BE AFFECTED BY STEAM FROM SHOWER OR FUMES FROM COOKING), THE OWNER MAY PUT THE ALARM AT ANOTHER LOCATION THAT WILL PROVIDE A WARNING TO OCCUPANTS OF THE DWELLING.

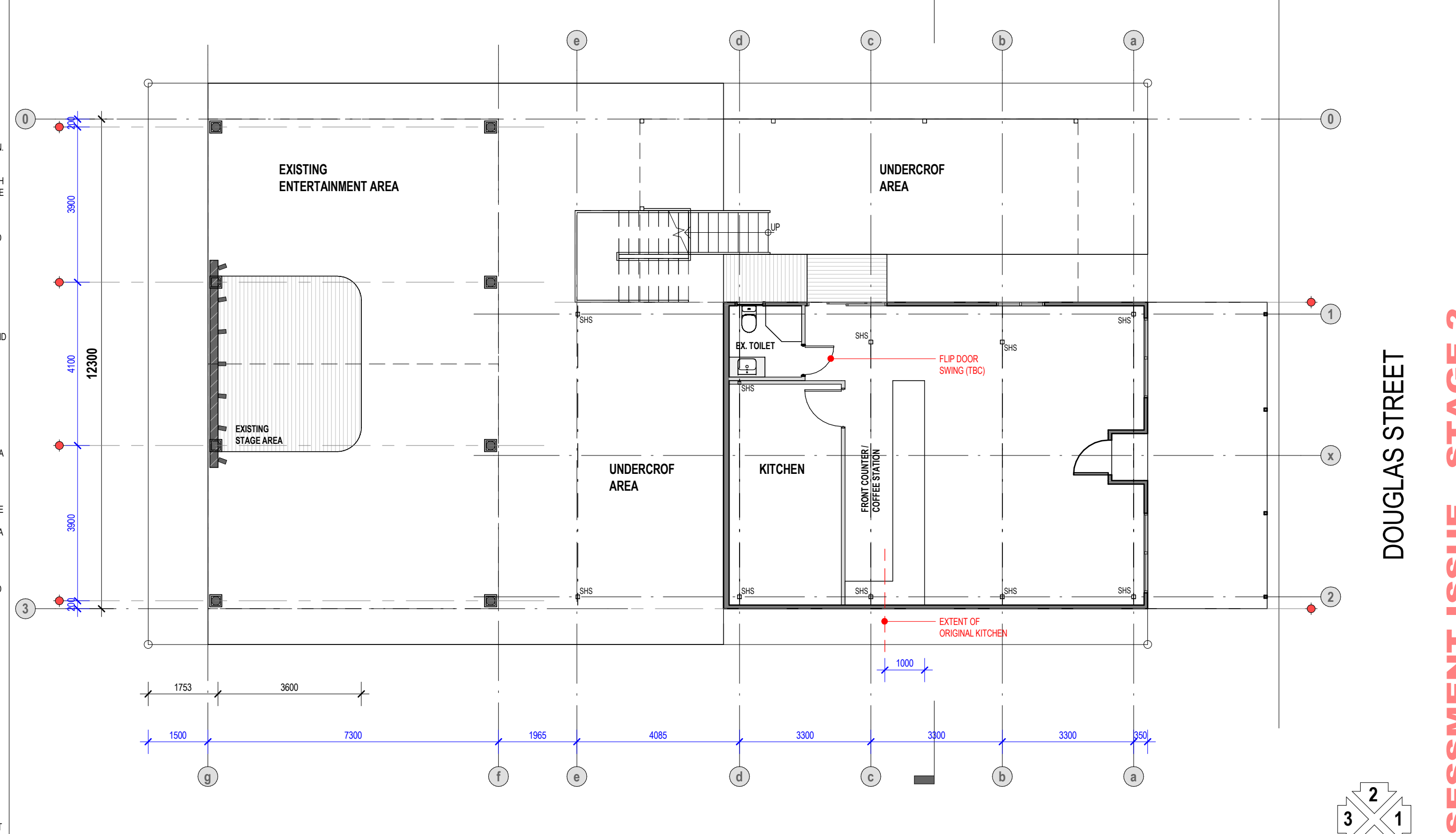
**WATERPROOFING NOTES:**

1. WET AREA WATERPROOFING TO COMPLY WITH PART F1.7 OF THE NCC VOL 1 AND AS3740. TILES AND WETSTOP ANGLES REQUIRED AT DOORWAYS (WET AREAS) OR WATERPROOF VINYL TESTED IN ACCORDANCE WITH AS3740 TO BE USED.  
 2. WATERPROOFING TO EXTEND A MINIMUM OF 1500mm FROM WHERE THE SHOWER POINT MEETS THE WALL.

**OPERATION OF LATCH:**

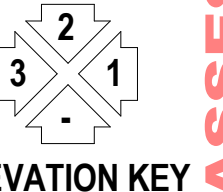
NCC 2019 BCA VOLUME ONE PART D2.21(A)  
 a) A DOOR IN A REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT MUST BE READILY OPENABLE WITHOUT A KEY FROM EACH SIDE THAT FACES A PERSON SEEKING EGRESS BY:  
 (i) A SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1100mm FROM THE FLOOR AND IF SERVING AN AREA REQUIRED TO BE ACCESSIBLE BY PART D3 - (A) BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING THE OPERATION OF THE LATCH; AND (B) HAVE A CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE AT THE CENTRE GRIP SECTION OF THE HANDLE OF NOT LESS THEN 35mm AND NOT MORE THEN 45mm; OR  
 (ii) A SINGLE HAND PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1.2m FROM THE FLOOR; AND  
 (iii) WHERE THE LATCH OPERATION DEVICE REFERRED TO IN (i) IS NOT LOCATED ON THE DOOR LEAF ITSELF - (A) MANUAL CONTROLS TO POWER-OPERATED DOORS MUST BE AT LEAST 25mm WIDE, PROUD OF THE SURROUNDING SURFACE AND LOCATED - (aa) NOT LESS THAN 500mm FROM AN INTERNAL CORNER; AND (bb) FOR A HINGED DOOR, BETWEEN 1m AND 2m FROM THE DOOR LEAF IN ANY POSITION; AND (cc) FOR A SLIDING DOOR, WITHIN 2m OF THE DOORWAY AND CLEAR OF A SURFACE MOUNTED DOOR IN THE OPEN POSITION.  
 (B) BRAILLE AND TACTILE SIGNAGE COMPLYING WITH CLAUSE 3 AND 6 OF SPECIFICATION D3.6 MUST IDENTIFY THE LATCH OPERATION DEVICE.

AREA SCHEDULE	
ROOM NAME	AREA
PROPOSED OUTDOOR LIVING	47.79 m <sup>2</sup>
EX. COMMERCIAL	80.94 m <sup>2</sup>
EX. ACCOMMODATION	89.10 m <sup>2</sup>
EX. ENTERTAINMENT AREA	89.79 m <sup>2</sup>
PROPOSED RESIDENCE	110.03 m <sup>2</sup>
TOTAL AREA	417.66 m <sup>2</sup>

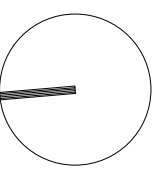


**GROUND FLOOR**  
SCALE 1 : 100

PRINT IN COLOUR (A3)



ELEVATION KEY



DOUGLAS STREET  
**ASSESSMENT ISSUE - STAGE 2**

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**PROPOSED ADDITIONS**  
**ISLAND STARS**  
 42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

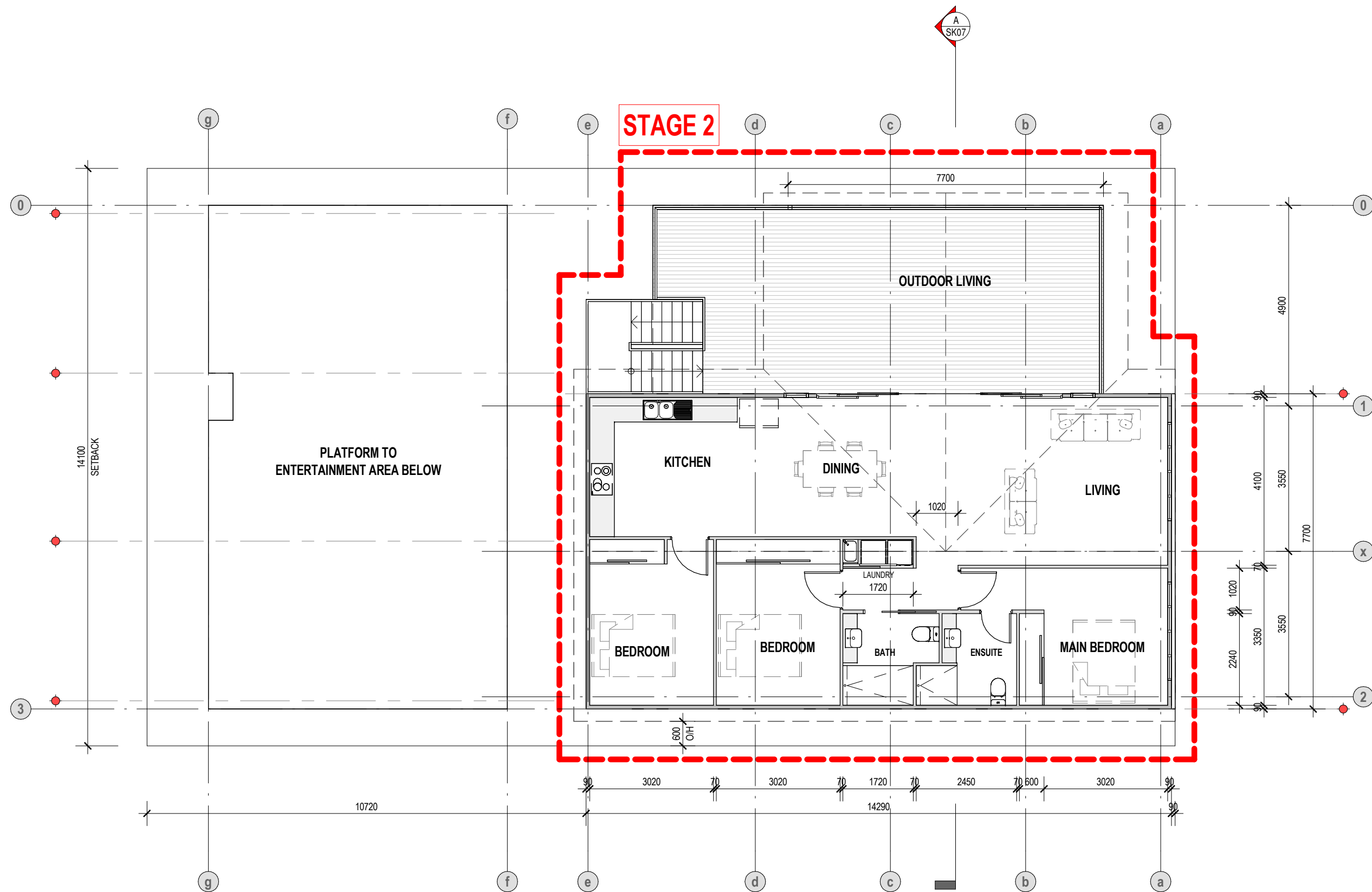
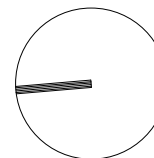
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DRAWN BY:	<b>CD</b>	JOB No:	<b>11-1702</b>
SCALE:	<b>1 : 100</b>	SHEET No:	<b>SK03</b>
START DATE:	<b>OCTOBER 2023</b>	REV No:	<b>5</b>
REVISION DATE:	21/01/2026		

**SMOKE ALARM:**

SA - TO COMPLY WITH (AS3786-2014)



**UPPER LEVEL**

SCALE 1 : 100

**ASSESSMENT ISSUE - STAGE 2**

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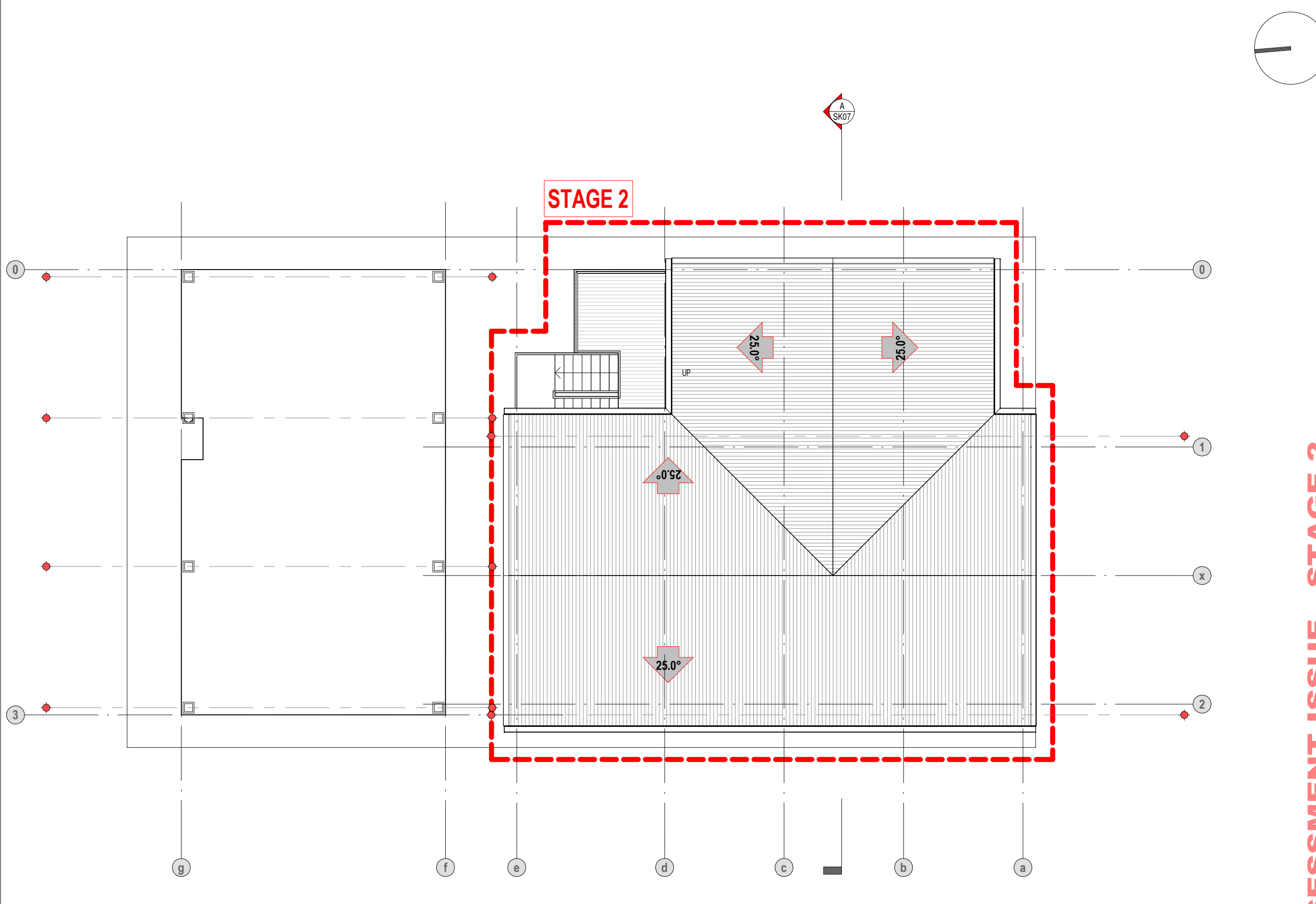
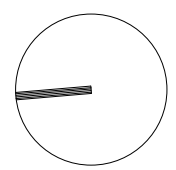
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DRAWN BY:	<b>CD</b>
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START DATE:	<b>OCTOBER 2023</b>
REVISION DATE:	21/01/2026

JOB No:	<b>11-1702</b>
SHEET No:	<b>SK04</b>
REV No:	<b>5</b>

**ROOF NOTES:**

1. REFER TO HYDRAULIC DRAWINGS FOR ROOF PENETRATIONS WHERE PROVIDED.
2. REFER TO ELECTRICAL DRAWINGS FOR ROOF MOUNTED SATELLITE DISHES AND THE LIKE.
3. ENSURE ROOF MOUNTED EQUIPMENT IS COMPATIBLE WITH SPECIFIED ROOFING MATERIALS.
4. POSITION OF DOWNPIPES INDICATIVE ONLY - CONFIRM LOCATION WITH SUITABLY QUALIFIED HYDRAULIC PROFESSIONAL, ALLOW MINIMUM OF 90mm uPVC DOWNPIPES 1 PER 35 SQ.M.



**ROOF PLAN**  
SCALE 1 : 100

PRINT IN COLOUR (A3)

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START DATE:	<b>OCTOBER 2023</b>
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JOB No:	<b>11-1702</b>
SHEET No:	<b>SK05</b>
REV No:	<b>5</b>

**ASSESSMENT ISSUE - STAGE 2**

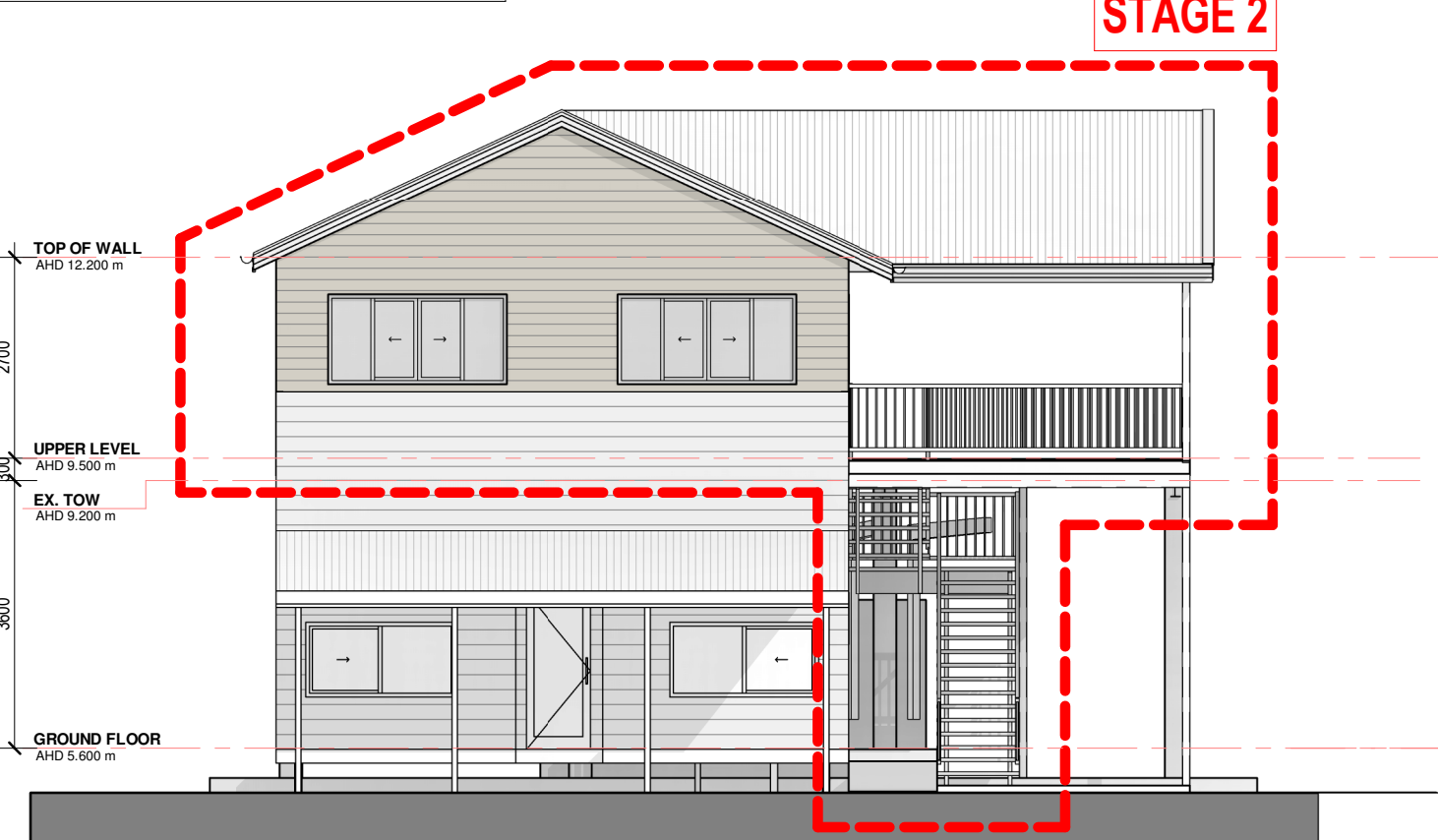
**NOTES:**

1. EYEBROW FLASHINGS TO BE INSTALLED ABOVE THE HEADS OF ALL EXPOSED WINDOW OPENINGS.
2. STAIRS CONSTRUCTION TO COMPLY WITH NCC VOL. 1, PART D3D14 FOR THE COMPOSITION OF THE STRINGERS, TREAD TYPES, GOINGS AND RISERS.
3. SLIP RESISTANCE REQUIREMENTS FOR STAIR TREADS IN REFERENCE TO NCC VOL. 1, TABLE D3D15 SLIP-RESISTANCE CLASSIFICATION.
4. BALUSTRADE BE CONSTRUCTED IN ACCORDANCE WITH NCC 2022, PART D3D17, STRUCTURAL DESIGN IN ACCORDANCE WITH AS1107.1
5. FALL PROTECTION ON WINDOWS TO BE IN ACCORDANCE WITH NCC REQUIREMENTS PART D3D29.
6. ROOFING TO BE INSTALLED TO PREVENT WATER PENETRATION INTO THE BUILDING STRUCTURE. (NCC VOL. 2 PART 7.2).

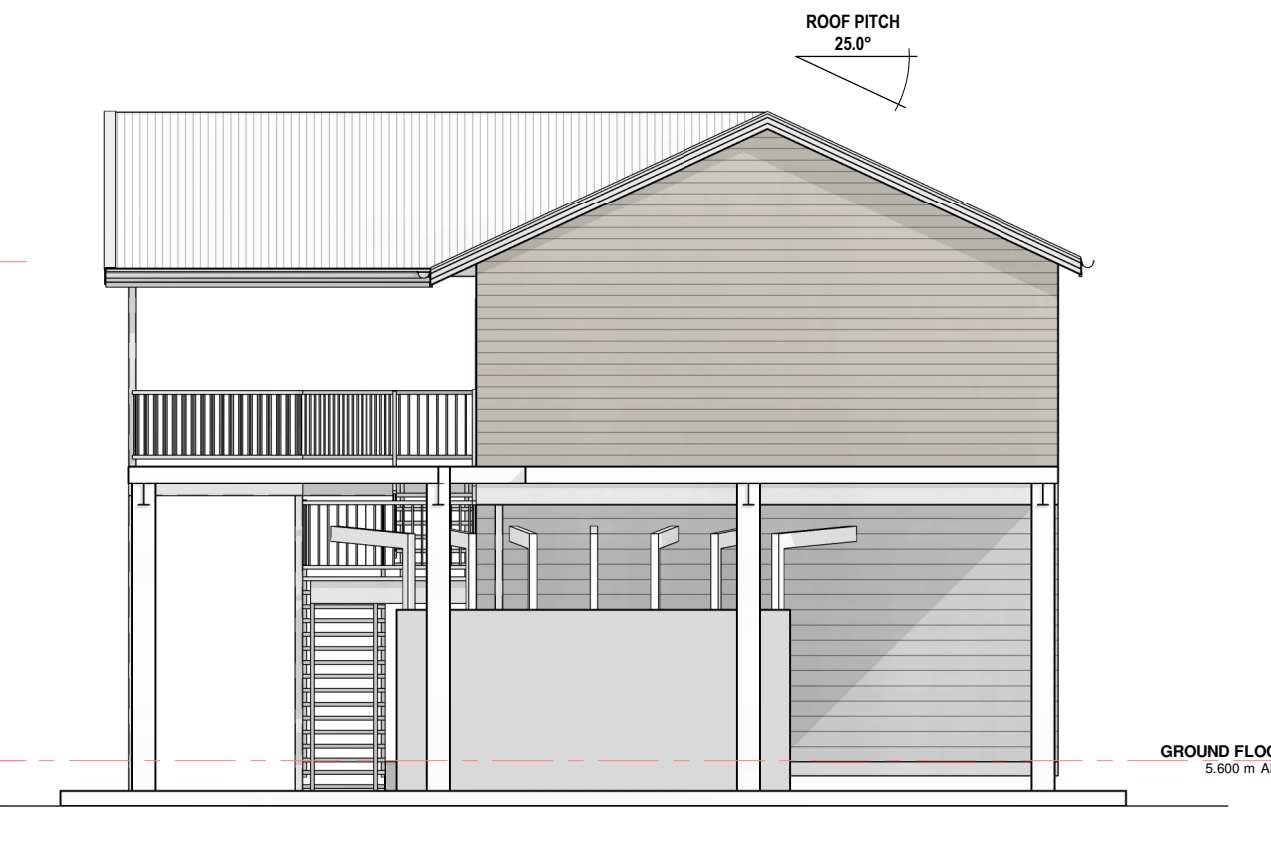
**NON-COMBUSTIBLE ELEMENTS:**

EXTERNAL WALLS AND ANCILLARY BUILDING ELEMENTS (AWNINGS / WINDOW HOODS, BALUSTRADE, AND SCREENS) TO BE CONSTRUCTED FROM NON-COMBUSTIBLE MATERIALS.

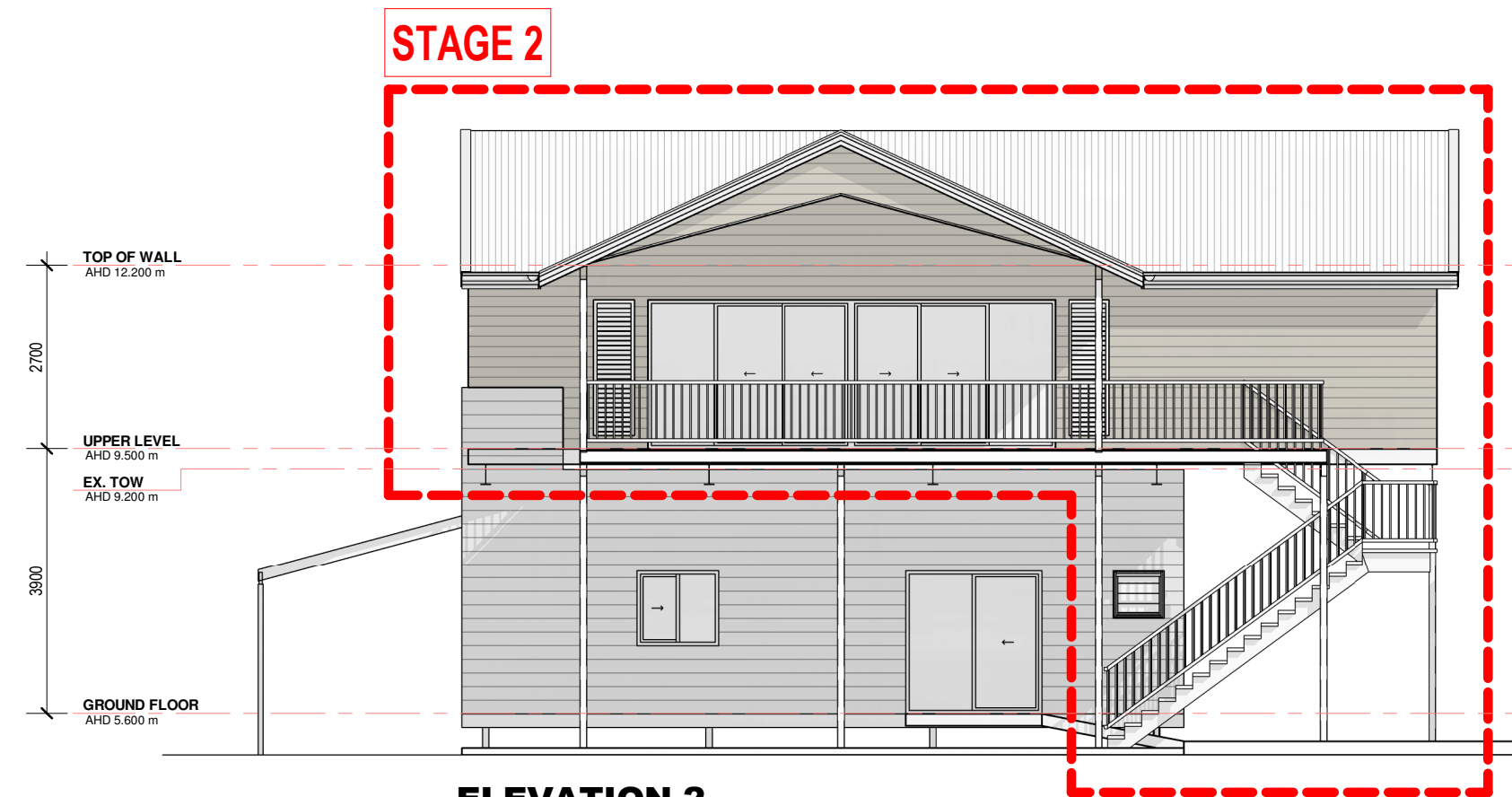
**ROOF: PITCH 25° / OVERHANG 600mm**



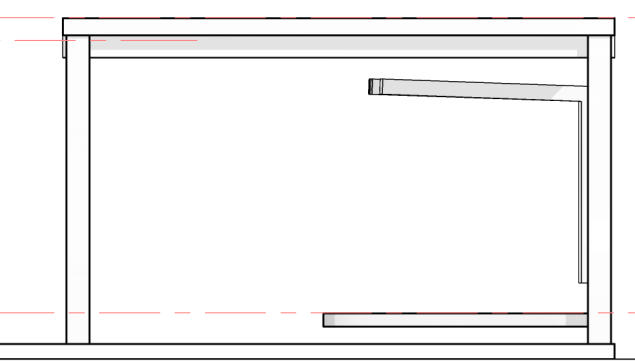
**ELEVATION 1**  
SCALE 1 : 100



**ELEVATION 3**  
SCALE 1 : 100



**ELEVATION 2**  
SCALE 1 : 100



PRINT IN COLOUR (A3)

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**PROPOSED ADDITIONS**  
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DRAWN BY:	<b>CD</b>	JOB No:	<b>11-1702</b>
SCALE:	<b>1 : 100</b>	SHEET No:	<b>SK06</b>
START DATE:	<b>OCTOBER 2023</b>	REV No:	<b>5</b>
REVISION DATE:	21/01/2026		

**ASSESSMENT ISSUE - STAGE 2**

**GENERAL NOTES**

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

**ABBREVIATIONS:**

- A.F.L. ABOVE FLOOR LEVEL
- A.F.F.L. ABOVE FINISHED FLOOR LEVEL
- APPROX. APPROXIMATE
- B BENCH
- BH BULKHEAD
- BR BROOM CUPBOARD
- BTH BATH TUB
- C.O.S. CONFIRM ON SITE
- CPD CUPBOARD
- CT COOKTOP
- CL CLOTHESLINE
- DFW DRY FLOOR WASTE
- DIA. DIAMETER
- DN DOWN
- DP DOWNPIPE
- DWR DRAWERS
- DW DISHWASHER
- FF FROG FLAP
- FW FLOOR WASTE
- HC HOSE COCK
- LN LINEN
- MSB MAIN SWITCH BOARD
- N.S.L. NATURAL SURFACE LEVEL
- OA OVERALL
- O/H OVERHANG
- O/H/C OVERHEAD CUPBOARD
- ORG OVERFLOW RELIEF GULLY
- OV OVEN
- PAD BUILDING PAD
- PIT STORMWATER PIT
- PTY PANTRY
- RA RODDING ACCESS
- REF REFRIGERATOR SPACE
- ROBE WARDROBE
- RV ROOF VENT
- SA SMOKE ALARM
- SB SPLASH BACK
- S/B SETBACK
- SH SHELF FIXED
- SHR SHOWER
- S-HWU SOLAR HOT WATER UNIT
- SJ SAW JOINT
- SK SINK
- SVP 50Ø SOIL VENT PIPE
- TUB LAUNDRY TUB
- VB VANITY BASIN
- WC TOILET
- WCJ WALL CONTROL JOINT
- WM WASHING MACHINE
- U.N.O. UNLESS NOTED OTHERWISE

**DRAWING LIST**

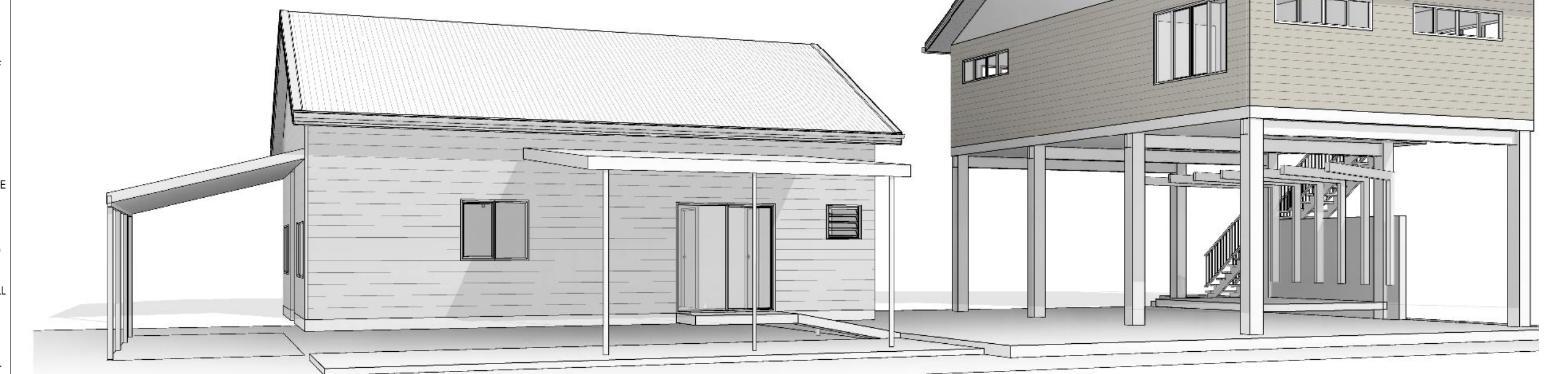
NUMBER	DESCRIPTION	ISSUE DATE	REVISION No.
SK01	COVER SHEET	21/01/2026	4
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SK05	FIRST FLOOR PLA	21/01/2026	4
SK06	ROOF PLAN	21/01/2026	4
SK07	ELEVATIONS	21/01/2026	4
SK08	ELEVATIONS	21/01/2026	4
SK09	SECTION A-A	21/01/2026	4

# ISLAND STARS ADDITIONS

## 42 DOUGLAS STREET, THURSDAY ISLAND

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# PROPOSED ADDITIONS

## ISLAND STARS

42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**

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DRAWN BY:	<b>CD</b>	JOB No:	<b>11-1702</b>
SCALE:	<b>N.T.S.</b>	SHEET No:	<b>SK01</b>
START DATE:	<b>OCTOBER 2023</b>	REV No:	<b>4</b>
REVISION DATE:	21/01/2026		

**PROPERTY INFORMATION**

LOT NUMBER LOT 1  
PLAN NUMBER RP716988  
SITE AREA 354 m<sup>2</sup>  
LOCAL GOVERNMENT TORRES SHIRE

**ELECTRICAL NOTES**

METER BOX LOCATION TO BE DETERMINED BY ELECTRICIAN ON SITE (CLOSEST PRACTICAL LOCATION TO CONNECTION).

**FLOOD INUNDATION**

ALL CONSTRUCTED IS TO BE ABOVE Q-100 FLOOD LEVEL ACCORDING TO LOCAL AUTHORITY REQUIREMENTS.

**HOUSE DRAINAGE LAYOUT**

REFER DRAINAGE PLAN FOR HOUSE DRAINAGE LAYOUT.

**SITE NOTES:**

- BOUNDARIES BASED UPON SURVEY DRAWING. CONTRACTOR TO CONFIRM ON SITE PRIOR TO ANY CONSTRUCTION.
- EXISTING SERVICES LOCATIONS ARE INDICATIVE ONLY. CONTRACTOR TO VERIFY ON SITE.
- REFER TO SLAB PLAN FOR SETOUT.
- REFER TO SERVICES CONSULTANT DRAWINGS FOR WORKS TO NEW & EXISTING SERVICES.
- VERIFY ALL BEARING AND DIMENSIONS ON SITE PRIOR TO ANY CONSTRUCTION. ALL MISSING PEGS TO BE REINSTATED PRIOR TO ANY CONSTRUCTION. NOTIFY THIS OFFICE IMMEDIATELY OF ANY DISCREPANCIES IN SETOUT DIMENSIONS.
- DISCLOSURE PLAN ONLY. DO NOT START CONSTRUCTION UNTIL BOUNDARIES ARE CONFIRMED.
- APPROXIMATE POSITION OF SEWER JUMP UP. VERIFY POSITION ON SITE PRIOR TO CONSTRUCTION. CONNECT 100Dia LINE TO COUNCIL REQUIREMENTS.
- THE FILL USED ON THIS SITE WILL HAVE CONTROLLED PLACEMENT.

**NOTES:**

**DESIGN & CONSTRUCTION STANDARDS**

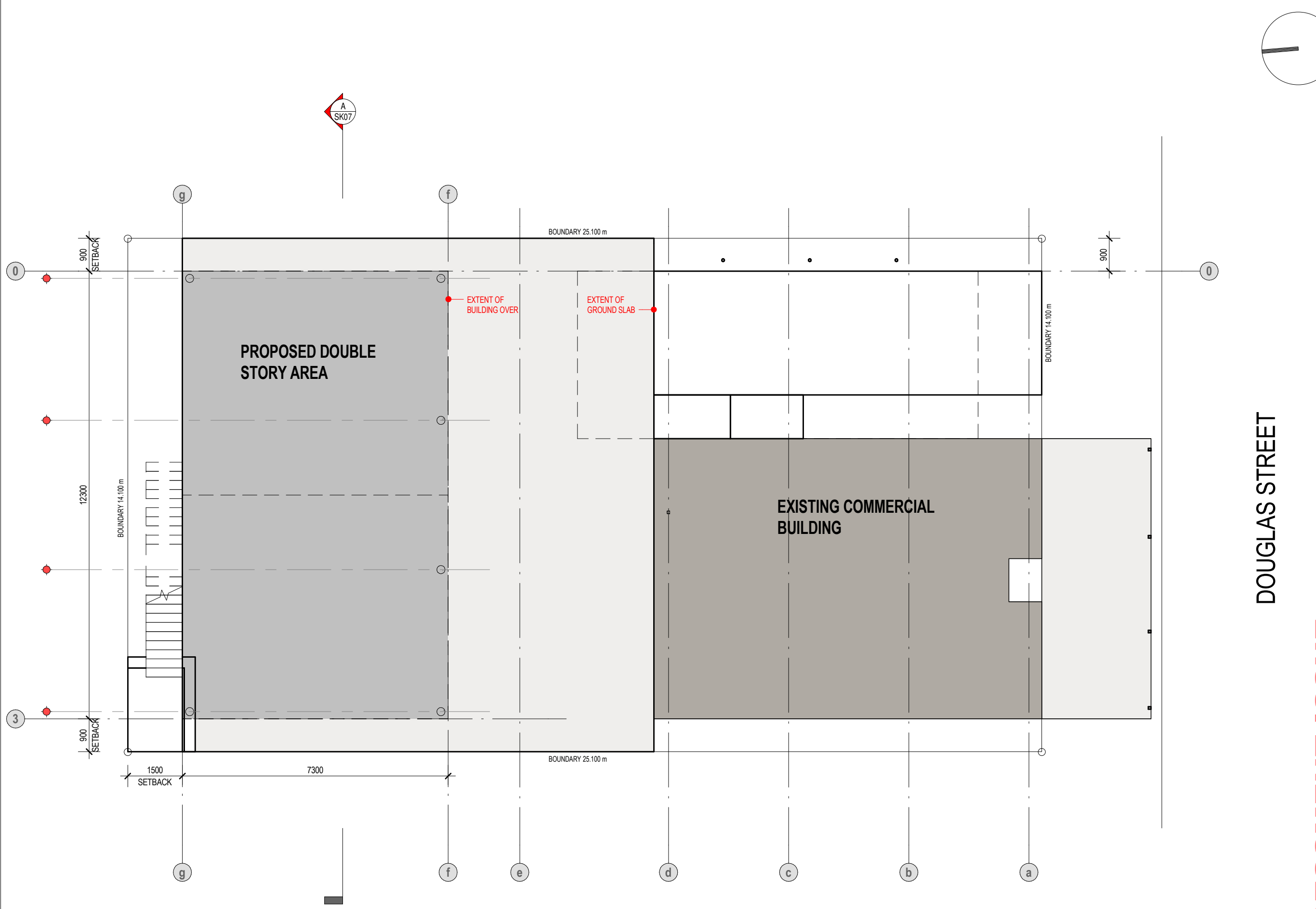
- COMPLY WITH INDUSTRY STANDARDS INCLUDING:
- QUEENSLAND BUILDING ACT - 1975 INCLUDING AMENDMENTS.
  - QUEENSLAND DEVELOPMENT CODE - APPLICABLE STANDARDS.
  - NATION CONSTRUCTION CODE SERIES (VOLUME 2) INCLUDING ALL REFERENCED AUSTRALIAN STANDARDS.
  - TRADAC TIMBER FRAMING MANUAL TO SUIT THE SPECIFIED DESIGN LOADS.
  - THE APPLICABLE MANUFACTURERS PRINTED INSTRUCTIONS FOR THE INSTALLATION OF ALL PROPRIETARY PRODUCTS AND FINISHES.
  - ALL PRIMARY BUILDING MATERIALS ARE TO BE CONSTRUCTED OF TERMITE RESISTANT MATERIALS IN ACCORDANCE WITH THE NCC.

**CONNECTION TO SERVICES**

APPLY TO THE RELEVANT SUPPLY AUTHORITIES FOR THE CONNECTION & APPROVAL OF WATER, SANITARY, ELECTRICAL CONNECTIONS AND ANY OTHER SERVICES REQUIRED.

**SITE DRAINAGE:**

GRADE FINISHED GROUND LEVEL TO ENSURE WATER IS DIVERTED AWAY FROM NEIGHBOURING PROPERTIES & TO KERB & CHANNEL OR STORMWATER EASEMENT IF AVAILABLE. PLATFORM IMMEDIATELY SURROUNDING THE RESIDENCE TO FALL AWAY FROM THE RESIDENCE AT A SLOPE OF 1 : 200. SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE & WITHOUT NUISANCE TO ADJOINING PROPERTIES. REFER TO SITE PREPARATION NOTES & COMPLY WITH AS 3798 - GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENT.



**SITE PLAN**  
SCALE 1 : 100

PRINT IN COLOUR (A3)

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
 2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
 3. DO NOT SCALE FROM DRAWINGS.  
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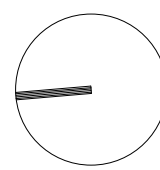
**PROPOSED ADDITIONS**  
**ISLAND STARS**  
 42 (LOT 1) DOUGLAS STREET, THURSDAY ISLAND

**NEVELE**  
 ABN 31 639 960 704 | Reg No. 5977  
 m 0410 633 159 | p 07 42 433 588 | w nevele.com.au  
 a shop 5, 116 -118 Reed Road, Trinity Park, Q 4879

No	DATE	DETAILS
1	17/11/2023	PRELIMINARY ISSUE A
2	20/12/2023	PRELIMINARY ISSUE B
3	01/10/2025	ASSESSMENT ISSUE A
4	21/01/2026	ASSESSMENT ISSUE B (STAGE 1)

DRAWN BY: **CD**  
 SCALE: **1 : 100**  
 START DATE: **OCTOBER 2023**  
 REVISION DATE: 21/01/2026

JOB No: **11-1702**  
 SHEET No: **SK02**  
 REV No: **4**

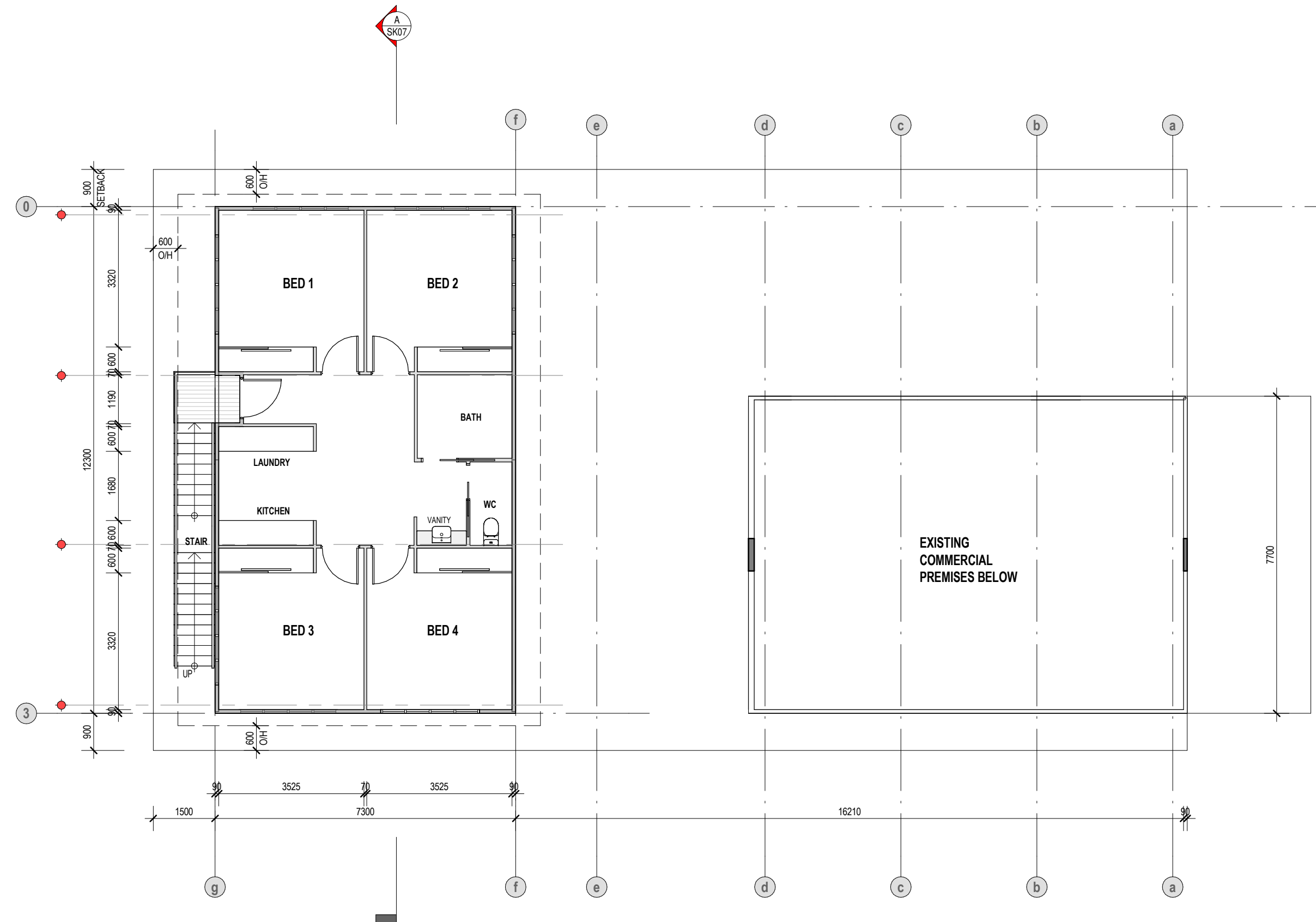
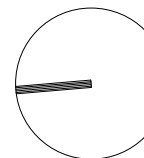


DOUGLAS STREET

**ASSESSMENT ISSUE**

**SMOKE ALARM:**

SA - TO COMPLY WITH (AS3786-2014)



**UPPER LEVEL**

SCALE 1 : 100

**ASSESSMENT ISSUE**

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JOB No:	<b>11-1702</b>
SHEET No:	<b>SK04</b>
REV No:	<b>4</b>

**NOTES:**

1. EYEBROW FLASHINGS TO BE INSTALLED ABOVE THE HEADS OF ALL EXPOSED WINDOW OPENINGS.
2. STAIRS CONSTRUCTION TO COMPLY WITH NCC VOL 1, PART D3D14 FOR THE COMPOSITION OF THE STRINGERS, TREAD TYPES, GOINGS AND RISERS.
3. SLIP RESISTANCE REQUIREMENTS FOR STAIR TREADS IN REFERENCE TO NCC VOL 1, TABLE D3D15 SLIP-RESISTANCE CLASSIFICATION.
4. BALUSTRADE BE CONSTRUCTED IN ACCORDANCE WITH NCC 2022, PART D3D17. STRUCTURAL DESIGN IN ACCORDANCE WITH AS1107.1
5. FALL PROTECTION ON WINDOWS TO BE IN ACCORDANCE WITH NCC REQUIREMENTS PART D3D29.
6. ROOFING TO BE INSTALLED TO PREVENT WATER PENETRATION INTO THE BUILDING STRUCTURE. (NCC VOL 2 PART 7.2).

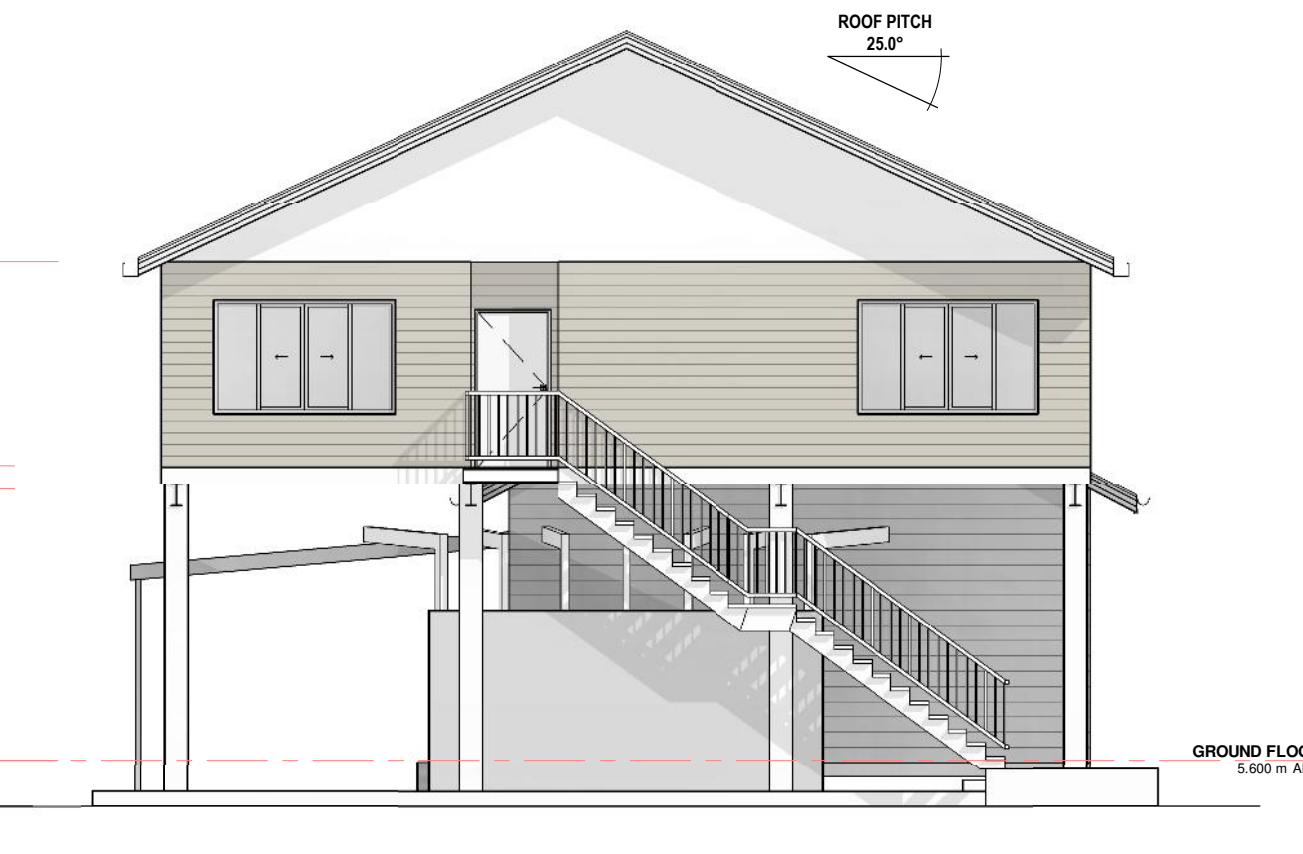
**NON-COMBUSTIBLE ELEMENTS:**

EXTERNAL WALLS AND ANCILLARY BUILDING ELEMENTS (AWNINGS / WINDOW HOODS, BALUSTRADE, AND SCREENS) TO BE CONSTRUCTED FROM NON-COMBUSTIBLE MATERIALS.

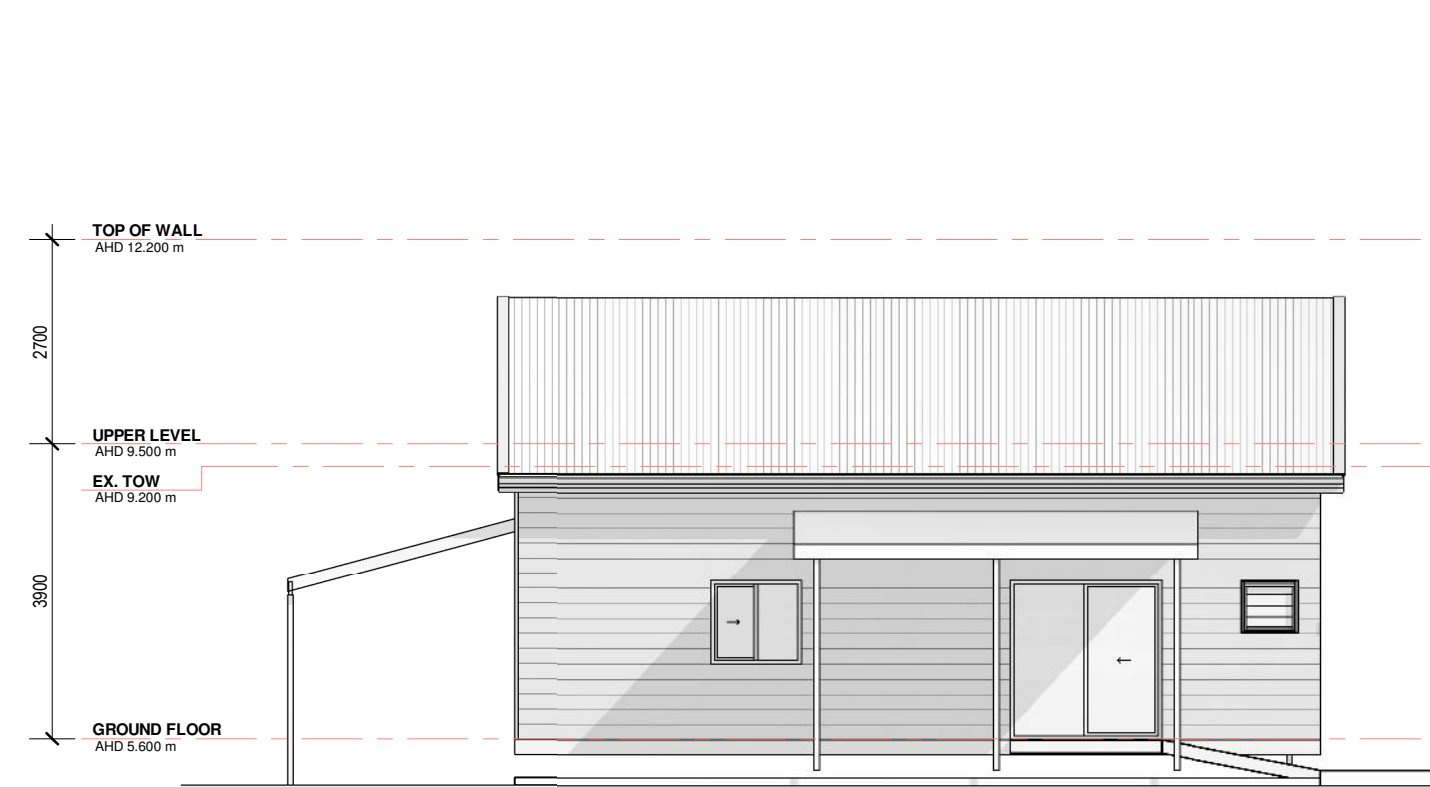
**ROOF: PITCH 25° / OVERHANG 600mm**



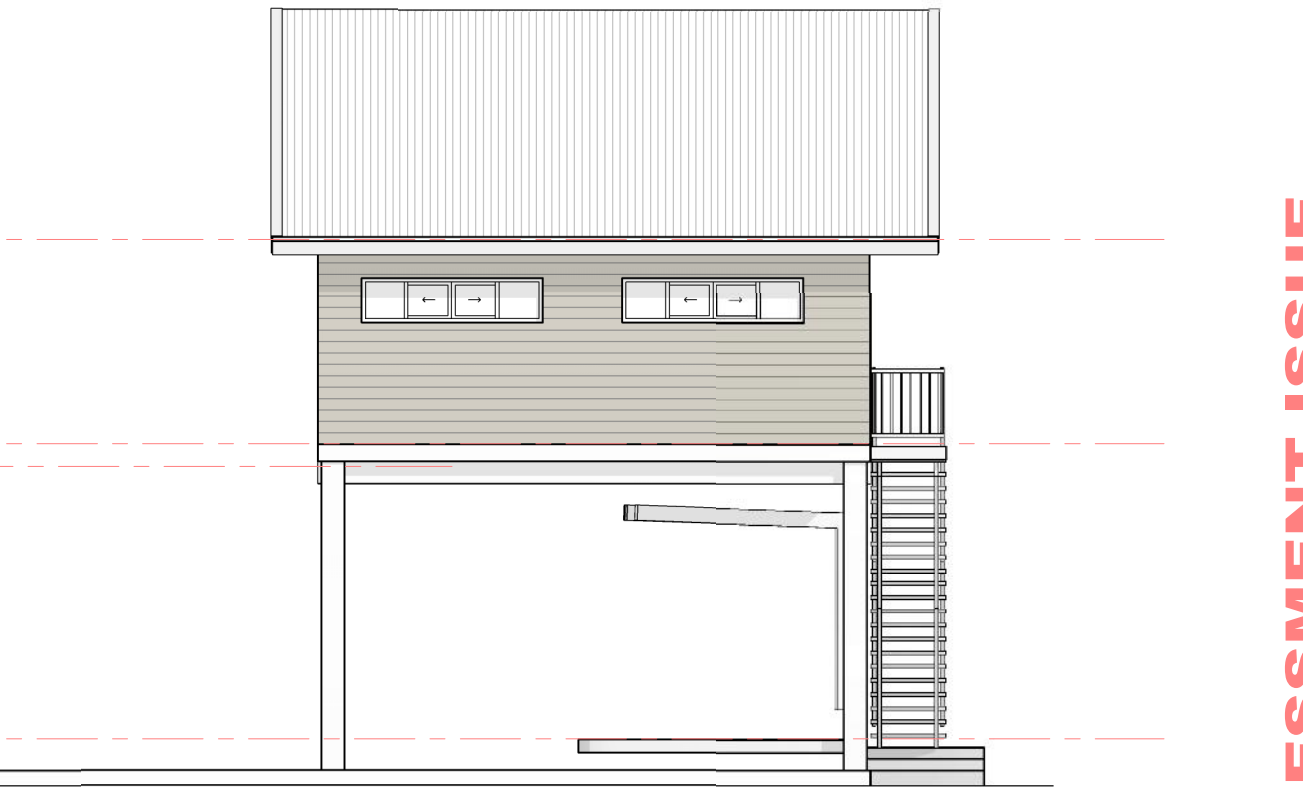
**ELEVATION 1**  
SCALE 1 : 100



**ELEVATION 3**  
SCALE 1 : 100



**ELEVATION 2**  
SCALE 1 : 100



**ELEVATION 4**  
SCALE 1 : 100

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DRAWN BY:	<b>CD</b>	JOB No:	<b>11-1702</b>
SCALE:	<b>1 : 100</b>	SHEET No:	<b>SK07</b>
START DATE:	<b>OCTOBER 2023</b>	REV No:	<b>4</b>
REVISION DATE:	21/01/2026		

**ASSESSMENT ISSUE**